

PROPOSAL

Fisherman's Terminal Piling Replacement Project



Applicant:
City of Eureka
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Submitted To:
U.S. Department of Transportation
2022 Port Infrastructure Development Program Grants
Opportunity Number:
MA-PID-22-001



FIELD	RESPONSE
Name of Applicant:	City of Eureka
Is the applicant applying as a lead applicant with any private entity partners or joint applicants?	No
Project Name:	Fisherman's Terminal Piling Replacement
Project Description:	This project is for the replacement of 40 failing or missing fender pilings on a quay used by commercial fishermen on Humboldt Bay and surrounding waters. Fender pilings are installed to prevent boats moored at the quay from drifting into or under the quay during loading and unloading. The existing conditions, with all fender pilings failing or no longer in place, are unsafe and cause significant risk to fisherman using the facility. Without replacement, the quay will continue to deteriorate and ultimately will become unusable for its users to safely operate. The new pilings will be durable PVC/fiberglass composite.
Is this a planning project?	No
Project at a coastal, Great Lakes, or inland river port?	Coastal
Is this application for a small project at a small port?	Yes
Project in a noncontiguous State or U.S. territory?	No
GIS Coordinates (in Latitude and Longitude format):	40.805557, -124.170872
Project in urban or rural area?	Rural
Project Zip Code:	95501
Is the project located in a Historically Disadvantaged Community or a Community Development Zone?	Both Historically Disadvantaged Community and an Opportunity Zone
Project been previously submitted for PIDP funding?	No
Applicant applying for other discretionary grants in 2022 for the same work or related scopes of work?	No
Has the applicant previously received TIGER, BUILD, RAISE, FASTLANE, INFRA or PIDP funding?	No
PIDP Grant Amount Requested:	\$650,000
Total Future Eligible Project costs:	\$ -
Total Project Cost:	\$812,500
Total Federal Funding:	\$650,000
Total Non-Federal Funding:	\$162,500
Will RRIF or TIFIA funds be used as part of the project financing?	No.

Table of Contents

Section I: Project Description..... 1

Section II: Project Location 3

Section III: Grant Funds, Sources, and Uses of Funds..... 4

Section IV: Merit Criteria 5

 Section IV.A: Achieving Safety, Efficiency, or Reliability Improvements 5

 Section IV.B: Supporting Economic Vitality at the Regional or National Level..... 7

 Section IV.C: Addressing Climate Change and Environmental Justice Impacts 10

 Section IV.D: Advancing Equity and Opportunity for All 11

 Section IV.E: Leveraging Federal Funding to Attract Non-Federal Sources of Infrastructure Investment 13

Section V: Project Readiness..... 13

 Section V.A: Technical Capacity 13

 Section V.B: Environmental Risk 15

 Section V.C: Risk Mitigation 16

Section VI: Domestic Preference 17

Section VII: Determinations 17

Index of Attachments 19

Section I: Project Description



Figure 1. Examples of the failed and failing fender piles on the Fisherman's Terminal quay. All remaining pilings are in comparable condition, with five missing entirely.

The project proposed for PIDP investment is the replacement of 40 failing or missing fender pilings on the Fisherman's Terminal quay in Eureka, California, which is used to load fishing gear and offload a variety of seafood products generated by commercial fisherman on Humboldt Bay and surrounding waters, including groundfish, Dungeness crab, salmon, tuna, and oysters produced via mariculture. Fender pilings are installed to prevent boats moored at the quay from drifting into or under the quay during loading and unloading. The existing conditions, with all fender pilings failing or no longer in place, are unsafe and cause a significant risk to fishermen using the facility to load or unload their boats. Without functional fender pilings, the quay will continue to deteriorate and ultimately become unusable for its users to safely operate. This narrative serves as Attachment 1 of the project application package,

and an attachments cataloguing all attachments, including this narrative, is enclosed as Attachment 2.

The Fisherman's Terminal quay is the newest commercial fish offloading facility in the area and one of the newest in the entire North Coast, having been completed in 2011 using funding provided by the United States Economic Development Agency (EDA) and other sources. However, a design decision to use untreated wood fender pilings during initial construction has left the facility in its current condition barely a decade after completion, with the City of Eureka lacking internal resources to undertake such a large-scale repair of the facility. The fender pilings have degraded slowly over time, and generally remained functional for several initial years of operation. However, they have begun to fail at an accelerated rate, resulting in a significant need to invest in replacing all pilings to keep the facility functioning effectively. Fisherman's Terminal is one of only three offloading facilities within Humboldt Bay. The terminal operator estimates that 50% of the annual catch in the region offloads through Fisherman's Terminal.

The City of Eureka has already completed a conceptual, 30% design for the project (enclosed as Attachment 4), along with drafting and submitting permit applications to the North Coast Regional Water Quality Control Board, the California Coastal Commission, the United States Army Corp of Engineers, and the Humboldt Bay Harbor, Recreation, and Conservation District. The Humboldt Bay Harbor, Recreation, and Conservation District has approved the permit application, while the remainder are currently pending. Permit applications and the approved Harbor District Permit are enclosed as Attachment 5.

The list of tasks to be undertaken using the PIDP investment is as follows:

1. Solicit and select a design consultant to finalize the project design plans and secure final environmental approvals, if not secured prior to funding award.
2. Complete 100% bid ready construction and contract documents, building upon the 30% design enclosed with this application.
3. Solicit and select a contractor to remove the 40, 14-inch diameter existing, failed pilings and install 40 new, 14-inch diameter fiberglass/PVC composite fender pilings in the same location, along with horizontal plastic composite wales between pilings to better protect vessels and the quay itself during use.
4. Remove and dispose of 40 failed, 14-inch diameter fender pilings. To remove the existing pilings that are one continuous wood member, the connection hardware including bolts and brackets will be removed and then the piling removed using a vibratory extractor from either a barge or a crane positioned on the quay.

For removal of the upper portion of those pilings that have rotted into two pieces, the piling will be secured by an appropriate strap or chain that is held in place by a crane or large excavator. Next, all the connection hardware will be removed and the upper portion of the piling will swing away from the quay while hanging by the strap or chain. Precautions will be taken to ensure the piling section does not swing back against the quay with enough force to cause damage.

Removing the sections of pilings still embedded in the ground, but not connected to the quay could be challenging given the fact that the upper ends of these pilings have completely rotted through. For the vibratory extractor to effectively grip the piling for removal, there must be enough solid piling remaining that has the strength to withstand the upward pressure and vibration applied by the extractor. This will also require a low enough tide to reveal the remainder of the piling in some instances. As the pilings are removed, they will be placed directly on a truck and transported to an approved and legally permitted disposal site or facility. The pilings that are still one continuous member, or other longer sections of the existing pilings, may need to be cut into smaller pieces to fit on the truck for transport.

5. Install 40 new, 14-inch diameter composite fender pilings in the same location as the removed wooden pilings. The new fiberglass/PVC pilings will be installed in the same location using a vibratory hammer or similar pile driving mechanism and will subsequently connect to the quay using an engineered bracket and bolting system. It is important to note that all pilings are nonstructural and free-standing so the engineered connection will be designed to withstand lateral movement and impacts but not to carry a vertical load.

Pipe caps will then be installed atop the new pilings and through bolts attached to the plastic lumber interface. New wales will be attached below the top of the quay horizontally along the new piles to protect ships from being pushed under the quay.

Finally, the damaged beams attached to the "leading" edge of the quay will be replaced with eco-friendly and durable plastic lumber and attached with bracket and bolt connections to the new plastic lumber interface, which will then be bolted directly into the existing quay deck. No waste will enter the bay during or after construction.

The City of Eureka is an eligible recipient of PIDP funding as a local government, and as the owner of the facility has the authority to carry out the project. A grant deed documenting City ownership is enclosed as Attachment 7.

Section II: Project Location

The project location is the Fisherman's Terminal facility, located at the northern terminus of C Street in Eureka, California. The street address is 45 Waterfront Drive, Eureka, California. The Fisherman's Terminal quay which will receive new fender pilings and wales through this project is located on the northern extent of the development on Assessor's Parcel Numbers (APN) 001-011-013 and 001-011-026. The approximate project coordinates are 40.805557, -124.170872. The City of Eureka is an incorporated city located on the shores of Humboldt Bay in Humboldt County, California. Humboldt County is a rural county with approximately 110 miles of coastline, more than any other county in the state. The city of Eureka is one of California's major commercial fishing ports and is the home of the largest deep-water port between San Francisco and Coos Bay,

Oregon, a stretch of about 500 miles. The project is accessed by vehicle from C Street or Eureka Waterfront Trail/1st street, with no direct connection to rail infrastructure or other modes of transportation. A project location map is enclosed as Attachment 8, and the project location is shown on Figure 2, with an aerial image of the project site provided as Figure 3. The project site is designated as rural by nature of being located outside of an urbanized area; per 2010 US Census Data, the City of Eureka is in an urbanized cluster but is not designated an urbanized area. Fisherman's Terminal is located on a coastal port and qualifies as a small project at a small port seeking funding per 46 U.S.C. 54301(b).



Figure 2. Project Location

The project is located within census tract 06023000100, which is both a historically disadvantaged community and a federally-designated Qualified Opportunity Zone. Table 1 below, using the three most recent years of data available from the United States Army Corps of Engineers, shows the total cargo moving through the Port of Humboldt Bay Harbor, the greater port facility which includes the project location. Please note that these figures include all cargo moving through Port of Humboldt Bay facilities, including commodities such as gasoline and wood chips which do not travel through the proposed project location.



Figure 3. Project Site

Table 1. Humboldt Bay Harbor Cargo Volumes (all commodities, all directions, values in short tons)¹

Calendar Year	2018	2019	2020	Three-year Average
Humboldt Bay Harbor Cargo Volume	262,885	145,650	247,243	218,592.66

Section III: Grant Funds, Sources, and Uses of Funds

The proposed project funding distribution is shown below on Table 2, while the itemized project budget is shown below on Table 3.

Table 2. Project Funding Distribution

Funding Source	PIDP	Other Federal	Non-Federal (City of Eureka match funding)
Proposed Funding Contribution	\$650,000	\$0	\$162,500

Table 3. Itemized Project Budget

Description	Unit	Quantity	Unit Cost	Total	PIDP Share	City of Eureka Share
Final Design and Bid Documents	LS	1	\$30,000	\$30,000	\$0	\$30,000
Construction Management	LS	1	\$20,000	\$20,000	\$0	\$20,000

¹ <https://ndc.ops.usace.army.mil/wcsc/webpub/#/report-landing/year/2020/region/4/location/4375>

Description	Unit	Quantity	Unit Cost	Total	PIDP Share	City of Eureka Share
Grant Management	LS	1	\$10,000	\$10,000	\$0	\$10,000
Project Inspection Fees	LS	1	\$10,000	\$10,000	\$0	\$10,000
Mobilization, Demobilization, Insurance, and Permitting	LS	1	\$115,400	\$60,000	\$0	\$60,000
Demolition and Disposal	LS	1	\$115,400	\$115,400	\$82,900	\$32,500
Install Pilings	EA	40	\$13,400	\$536,000	\$536,000	\$0
Install Wales	LS	1	\$31,100	\$31,100	\$31,100	\$0
Total				\$812,500	\$650,000	\$162,500

The project cost estimate was generated using the enclosed 30% design plans (Attachment 4) through estimates provided by a local engineering consulting firm for soft costs and conversations with local contractors who perform piling removal and installation for hard costs. The City has borne the cost of the preliminary engineering design and permitting activities and will not be requesting reimbursement for those activities from PIDP. A match commitment letter from the City of Eureka verifying the City's cost share is enclosed as Attachment 3. There are no timing or other use restrictions placed upon the City of Eureka's matching share.

Section IV: Merit Criteria

Section IV.A: Achieving Safety, Efficiency, or Reliability Improvements

The proposed project aligns with the PIDP's priority of improving the safety, efficiency, or reliability of loading and unloading goods at a port.

Replacing failed fender pilings and installing new wales at the Fisherman's Terminal quay will significantly improve the safety and efficiency for commercial fishing vessels loading equipment and unloading their catch at the facility. The improvements proposed are both permanent and stationary, as the pilings and wales will be fixed to the face of the quay and remain in place until they need replacement. The City of Eureka has already determined that composite fender pilings and wales are the most appropriate choice for the project, given the poor performance of untreated wood pilings at the facility over the last decade, the environmental permitting challenge associated with using treated wood pilings, the preference amongst users of the facility for composite pilings, and the City's desire of a long-term, durable solution to this issue, as composite fender pilings are anticipated to last significantly longer than other alternatives. Composite fender pilings are estimated to provide a useful life of 50 years, as opposed to the less than 10-year useful lifespan of the untreated wood pilings initially installed. The City also considered the use of concrete fender pilings for the project; however, concrete pilings are more likely to damage vessels that contact them and pose a more challenging installation process due

to the potential for environmental impacts and contamination during the pouring of the concrete pilings on-site.

Fender pilings are installed to protect both the quay structure itself and vessels using the quay from damage during routine on and offloading activities. Without fender piles in place, vessels attempting to moor at the quay could drift towards the quay, striking the leading edge or, at lower tide levels, drift under the quay entirely. This can damage both the quay itself, as the structural pilings underneath the quay could be struck by drifting boats, or the vessel itself, while also putting both dockworkers and vessel operators in danger. In the current configuration with all forty existing fender pilings failed or missing, vessels using the facility have no safe way to ensure they will not strike the quay or drift underneath it during loading and unloading. This requires vessel operators to operate much more methodically, wait for completely favorable tides in some instances to unload, take more time to secure their vessel appropriately, and generally slow the loading and unloading process to ensure worker and vessel safety. Specifically, the pilings underneath both existing hoists on the quay are missing, creating significant danger to operators when unloading, as the boat could drift under the quay while hoisting equipment or product to and from the vessel.

The Fisherman's Terminal quay is a regionally significant facility for the commercial fishing industry and the food supply chain. Fisherman's Terminal is the most modern offloading facility on the North Coast, and vessels from as far south as San Diego and as far north as Washington state use the facility to offload their catch for either processing on site or shipment to other processing sites when fishing along the North Coast near Humboldt Bay. There are three loading bays available at the facility for large tractor-trailers to load the day's catch and transport it via surface road networks, plus the onsite processing services offered by South Bend Products.

Fisherman's Terminal is critical to the continued successful operation of the commercial fishery near Humboldt Bay. Fisherman's Terminal is the only facility at which drag boats can load and unload their gear on Humboldt Bay, and the facility is used by every local commercial fishing vessel at some point during the season, per conversations with the facility manager. The facility routinely offloads and processes crab, groundfish, salmon, and albacore catches, along with oysters produced via mariculture. In fact, typically the two alternative offloading and processing facilities in the region, operated by Caito Fisheries and Pacific Choice Seafood, typically shut down their operations before crabbing season is complete, leading all crab fishing vessels to offload at Fisherman's Terminal during the latter portion of the crabbing season. Pacific Choice Seafood has historically even routed vessels to Fisherman's Terminal when tide conditions are unfavorable to offloading at the Pacific Choice Seafood site or when that facility requires dredging maintenance. In total, at least twelve different fishing companies from up and down the west coast use the facility annually, with local operators projecting increased use into the future.

In addition to distribution through processing centers and wholesalers, the Port of Humboldt Bay, which only has three local seafood processing facilities remaining, remains one of the most productive fisheries in the State of California. From 2018-2021, almost \$149 million in ex-vessel value (the amount paid to fisherman offloading their product on the quay, without counting wages or business income associated with further "downstream" processing, distribution, or retail sales) was generated through the Port of Humboldt Bay, with this total representing 22.66% of the total ex-vessel value statewide in the same time period, and the largest overall share of ex-vessel value of any of the nine commercial ports in the state.² Ex vessel value includes fish sold directly from the quay to local consumers, with Fisherman's Terminal again representing the only place in Humboldt Bay where locals can purchase fish "off the dock" from local fishermen. This facility is vital for providing millions of dollars in seafood production to the community and, with the proposed project implemented, could continue to serve as a vital link in the region's food security for decades to come. In fact, many species fished commercially have been observed migrating northward as ocean temperatures have increased over the past years, indicating that the need for commercial fishing infrastructure in and around Humboldt Bay may see increased demand in future years.

Section IV.B: Supporting Economic Vitality at the Regional or National Level

The proposed investment will significantly increase resiliency for the commercial fishing industry. Fisherman's Terminal is the newest commercial fish offloading facility in the area and one of the newest in the entire North Coast, having been completed in 2011 using funding provided by EDA and other sources. Fisherman's Terminal houses a local seafood company, South Bend Products, along with Jack's Seafood Café, a waterfront restaurant where patrons can observe working commercial fishing boats while enjoying fresh caught local seafood. Fisherman's Terminal, as one of the newest commercial fishing facilities on the North Coast, is well positioned to serve as a vital hub for commercial fisheries off Humboldt Bay well into the future with the modest investment proposed in this project.

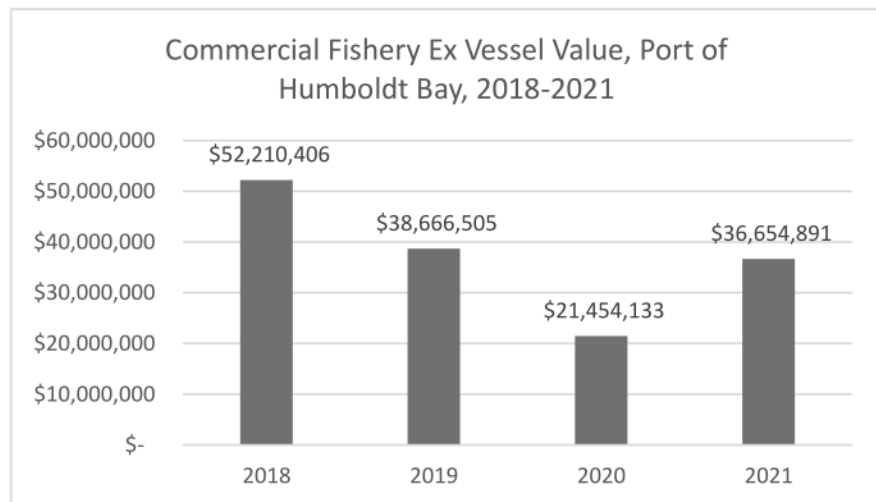
As discussed in this narrative, there are only two alternative offloading sites for commercial fishermen on Humboldt Bay, and Fisherman's Terminal has over 17,000 square feet of landside storage space to store gear such as crab pots, three tractor-trailer bays for loading trucks to ship product, and is located less than 0.25 miles from Highway 101, the primary interstate route connecting the North Coast to the rest of the state. Fisherman's Terminal is used by boats fishing in the Humboldt Bay region with ports of origin ranging from Washington state to San Diego. Fisherman's Terminal is the only place on Humboldt Bay where drag boats can load and unload their gear, and the terminal operator estimates that every boat in the Humboldt Bay commercial fishing fleet unloads at this facility at some point during the season (J. Huffman, personal comm., July 2021), along with approximately 50% of the total catch from Humboldt Bay travelling through the facility in any given year. However, in their current state, the fender pilings on the Fisherman's Terminal quay represent a significant hinderance to safe use of the facility,

² <https://wildlife.ca.gov/Fishing/Ocean/Year-In-Review>

potentially steering non-local vessels to other ports for offload, or even discouraging them from fishing near Humboldt Bay entirely. The safety issues posed by the failed fender pilings, alongside the increase in loading and unloading time, leave the facility physically inaccessible for some users. By implementing the proposed project, all users of the quay will have physical access improved by way of safer, more efficient loading and unloading of vessels. This improved physical access and increased incentive to use the facility will, in turn, lead to greater opportunities for employment at the facility, as greater volume of commercial fishing catches moving through the facility will increase the need for quay workers, processing staff, maintenance staff, and transit drivers to transport both processed and unprocessed seafood products. The project will also improve the efficiency of freight transportation from the facility by way of improving the loading and unloading process, increasing efficiency and therefore the potential number of vessels that can use the facility within a given timeframe.

The economy of the Humboldt Bay region was historically driven by two industries: timber/forest products and fishing. Over the past decades, the timber and forest products industry in the region has collapsed, and the local economy has struggled to recover. Combined employment in forestry-related sectors dropped from a high of 6,400 jobs in 1990 to approximately 2,500 jobs in 2009 and averaging 2,400 jobs from 2012-2016. Similarly, marine cargo volumes moving in and out of Humboldt Bay fell by almost 75%, from approximately 1.5 million metric tons in 1990 to 424,000 metric tons in 2016. This decline was precipitated by the decline of the timber and forest products industry and is not expected to rebound fully, emphasizing the value of the region's fishery for economic resilience. As of 2016, the forestry, fishing, and related activities sector made up 1.8% of jobs in Humboldt County and 1.9% of total worker earnings, compared to 1.0% and 0.6%, respectively, in California as a whole. Additionally, 54.1% of County jobs and 57.7% of County earnings are concentrated in the government, health care, retail, and hospitality sectors (2018 Humboldt County Economic and Demographic Profile). This concentration of employment opportunities leaves the community with a less resilient economy, limiting the diversity of economic production in the region. Maintaining the limited commercial fishing facilities available on Humboldt Bay will allow the region's commercial fishery to continue operating efficiently and provide diversity to the regional economy. In productive years, Fisherman's Terminal can employ up to 75 seasonal processing workers, without counting fishermen, restaurant staff, maintenance staff, or transit drivers.

Without intervention, existing fender piles will continue to deteriorate, eventually resulting in an unusable facility, forcing fishermen to offload their catch elsewhere, impacting the businesses which occupy Fisherman's Terminal and damaging the region's economic resiliency. Given the



strategic location of Fisherman's Terminal and the limited opportunities for offloading elsewhere, the inability to use this facility would have a significant impact on the viability of many local commercial fishing businesses, and the greater Humboldt County economy as a whole. The impact of commercial fishing revenue, which totaled almost \$149 million in ex vessel value from 2018-2021³, is even greater across the wider County economy, as every dollar earned by commercial fishermen generates roughly 1.5 times that value at the County level through the multiplier effect (The Economic Structure of California's Commercial Fisheries, S. Hackett, et al. 2009). This \$149 million in revenue thus results in over \$223 million in economy benefits over the same time period.

Without this project, the process of loading and unloading vessels at the Fisherman's Terminal facility will remain cumbersome and unsafe and, without funding support to implement the project, the facility is likely to continue to deteriorate, with more failed fender pilings detaching from the quay, further reducing the modest protection they provide in their deteriorated state for vessels, operators, and quay workers. This deterioration will ultimately lead to the quay becoming unusable in a safe manner, impacting jobs at both on-site businesses, South Bend Products and Jack's Seafood Café; the former since no fish processing is needed if no fish can be offloaded on site, and the latter as the restaurant's marketing revolves around eating fresh, local seafood while observing a working waterfront. However, with intervention and the implementation of this project, the facility will remain resilient to future economic disruptions, allowing it to continue operating, even if demand for specific seafood products or the regulatory environment surrounding seafood production shifts to emphasize mariculture, aquaculture, or other alternative production methodologies. The facility and the broader commercial fishery in the region have already proven resilient from recent social disruptions: while the region did see a decline in ex-vessel value during 2020, that value rebounded to pre-pandemic levels in 2021. Many commercial fishermen also identified new potential customers and revenue streams during

³ <https://wildlife.ca.gov/Fishing/Ocean/Year-In-Review>

the pandemic, selling a much larger volume of product to pre-packaged meal services such as Blue Apron and Freshly, in addition to selling a much larger volume of product to consumers directly from the quay. The site, with functioning fender pilings and wales, can also be used to offload a wide variety of products regardless of provenance, as evidenced by its current use offloading mariculture oysters produced in Humboldt Bay. Mariculture as an industry continues to grow in Humboldt County, with the Humboldt Bay Harbor, Recreation, and Conservation District having already pre-permitted an additional 136 acres within Humboldt Bay for mariculture production in 2020.⁴

Given the nature of the project proposing fender piling replacement and installation of wales, the energy footprint of the facility will not change based solely on the project, and therefore specific energy efficiency or renewable energy components are not relevant in this instance.

Section IV.C: Addressing Climate Change and Environmental Justice Impacts

Given the basic and straightforward nature of the project as an effort to bring the Fisherman's Terminal facility back to full operational capacity, the City of Eureka has not completed any climate change or environmental justice activities related specifically to this project.

The past several years, however, Fisherman's Terminal and local fishermen have reported seeing a variety of non-native fish species in Humboldt Bay and along the Humboldt coast. These fish are not typically found in the colder north Pacific coast but appear to be migrating north because of warming sea water. This warming trend is anticipated to continue with more non-native fish inhabiting the waters along Humboldt coast. The proposed project at Fisherman's Terminal will help prepare the community and commercial fishermen to be more resilient against the impacts of climate change, including warming ocean waters, and more prepared to harvest commercially viable fish which inhabit waters off of Humboldt Bay.

Impacts on environmental justice would be considered significant if an action had a disproportionately high and adverse effect on minority and low-income populations. While portions of Eureka adjacent to Fisherman's Terminal have low-income populations, this project will not result in cumulative impacts or significant effects. During project demolition/construction, this population might detect construction noise however, the noise level at this distance would not substantially affect human health or the environment and will not be out of line with the typical noise levels associated with a working waterfront. Construction will take place within the boundaries of Fisherman's Terminal and away from the general population; thus, there will be no impact to any populations, including minority and low-income populations.

⁴ <https://files.ceqanet.opr.ca.gov/121048-3/attachment/pTVPo3S61OvYRyldrejHZ3rWN0S-2-xBICOUvj1iidlrDTE97Jat-ZjCDrFLBlx2iQ52ZDthMplDg9R0>

Port Infrastructure Development Program Application
Fisherman's Terminal Piling Replacement Project
Applicant: City of Eureka
Funding Opportunity Number MA-PID-22-001

Although the site is located within Humboldt Bay, best management practices (BMPs) will be implemented to ensure any potential impacts are minimized. The total footprint for the project impacts to the bay floor is approximately 85 square feet or 0.002 acres. No waste is anticipated to enter the bay during or after construction. No eelgrass is known to occur within the project area. Temporary impacts related to sediment disturbance during piling removal/replacement is minimized by project timing (low tide); use of a turbidity curtain, to installed and kept in place during project construction; and use of vibratory extraction and hammering.

The new pilings will be a two layered product. The inner layer is a PVC/fiberglass composite, and the outer layer is an impervious, heavy, PVC coating, which is immune to microbiological and microbiological attack.

Section IV.D: Advancing Equity and Opportunity for All

The proposed project is directly in alignment with the City of Eureka's October 2021 Economic Development Strategic Plan Update. The City of Eureka Economic Development Strategy was initially developed in 2015 by City staff following robust stakeholder outreach and conversations with local businesses, non-profits, and community groups, partner agencies such as the Humboldt Bay Harbor, Recreation, and Conservation District, and the public at large. Following the City's 2018 General Plan Update, the 2021 Economic Development Strategic Plan Update continued outreach to the various stakeholder groups and brought the document back in line with the City's updated General Plan. Specifically, this project aligns with the following Sub Goals and Strategies described within the plan:

Sub Goal A: Maintain and Create High Quality Jobs

Strategy 3: Maintain and improve goods movement to and from Eureka

Action 3A: Improve goods movement to and from locations outside the region

Sub Goal B: Build Eureka's Community Assets

Strategy 8: Support new investment in Eureka's Opportunity Zone

Action 8A: Market Eureka's Opportunity Zone to local and outside investors

Strategy 11: Exercise a common vision for the maintenance and expansion of Port activities

Action 11B: Secure facilities for the commercial fishing fleet

This project also directly aligns with the Humboldt County Comprehensive Economic Development Strategy (CEDS). The CEDS was initially developed in 1999 and has been updated on a five-year cycle since that time, with the most recent update occurring in 2018. More specifically, this project aligns with the following focus areas and targeted strategies presented in the CEDS:

Focus Area: Build, Attract, Retain, and Grow Industry

Strategy 4: Support efforts to address infrastructure needs, especially focused on investments and other efforts designed to eliminate barriers and increase the resources needed for businesses to grow and prosper in the region.

Focus Area: Workforce

Strategy 2 – Attract and Retain Workforce: Support efforts to address infrastructure needs, including related to housing, access to healthcare, reliable transportation, upgraded and accessible technology and broadband, and more.

The 2018 CEDS also reaffirmed and included the goals from the 2012 CEDS, several of which are also in direct alignment with the proposed projects:

Create diversified, growing industries that export goods and services

Create a strong local economy that maximizes use of locally produced goods and services

Constant creation of new firms and jobs with wages that support a family

Quality of life that supports enjoyment of nature, small town rural life, and connection to community

The proposed project also directly aligns with the City of Eureka's [General Plan Economic Development Policy Paper](#), which recommends the following action related to commercial fishing policy:

Alternative 7: Maintain Infrastructure and Support Services for the Fishing Fleet

Under this alternative, the City would adopt policies prioritizing the maintenance of infrastructure and the retention of support services for the commercial fishing industry. This could include the maintenance of existing dock facilities and the Fisherman's Terminal, among other facilities...

The paper goes on to indicate that "The actions described under Alternative 7 would be the minimum required to retain the fishing fleet as it currently exists. This would include the ongoing maintenance of existing facilities that provide critical services to the fishing fleet, such as docking and refueling facilities, the ice plant, equipment storage, etc. Without access to these basic amenities and services, **the fishing fleet will not be able to continue commercial operations, and the City will lose an important cultural and economic asset.**"

Given the small footprint of the project and lack of physical changes beyond the project site, a project-specific equity impact analysis has not been developed. Given the specific project parameters and need for composite pilings and wales to ensure long-term performance, equity-focused materials procurement is not feasible.

Port Infrastructure Development Program Application

Fisherman's Terminal Piling Replacement Project

Applicant: City of Eureka

Funding Opportunity Number MA-PID-22-001

Implementation of the proposed project will maintain a vital piece of commercial fishing infrastructure on Humboldt Bay, allowing members of the underserved community in Eureka and Humboldt County to continue to choose commercial fishing as an occupation, maintaining both an economic and cultural through-link from the community's past and into its future.

Section IV.E: Leveraging Federal Funding to Attract Non-Federal Sources of Infrastructure Investment

The City of Eureka has committed a 20% matching share to this project, despite being both a small project at a small port and a project located in a rural area and therefore eligible for a matching share waiver. The City has included this matching share due to the project's importance to both improve the competitiveness of this funding application and demonstrate the City's commitment to completing the project.

Section V: Project Readiness

Section V.A: Technical Capacity

The City of Eureka has already completed a 30% conceptual design for the project, along with drafting and submitting permit applications to the North Coast Regional Water Quality Control Board, the California Coastal Commission, the United States Army Corp of Engineers, and the Humboldt Bay Harbor, Recreation, and Conservation District. Those permit applications are currently pending. The City will retain a qualified design consultant through an open and competitive procurement process to complete the project design, take the project to bid, and manage the project during construction.

The City of Eureka has a track record of successfully administering and implementing grant-funded projects across a variety of disciplines, including detailed financial and performance tracking. The City of Eureka administers both State and Federal grants and has experience tracking grant-related activities including maintaining fiscal controls and complying with grant agreements and other state and federal regulations. The City also manages public works construction projects frequently and maintains a qualified staff of technical professionals capable of overseeing the bid process and ensuring contractor performance. The City of Eureka maintains several miles of waterfront infrastructure and employs qualified maintenance staff to ensure that City-owned infrastructure is kept in good repair. Unfortunately, a project of this magnitude, resulting from materials choices in the original project design, requires outside contractors and cannot be accomplished by City staff.

This project is not explicitly part of an ongoing planning effort, nor is the project included in any local or state freight plan. However, the project is in alignment with numerous community development and sustainability plans described in the previous section. The project is also in alignment with the [2019 Eureka Fishing Community Sustainability Plan](#), which recommends that

the community "maintain and improve shoreside infrastructure that supports continued accessibility for the commercial and recreational fleets."

As a project intended to restore the functionality of the Fisherman's Terminal quay and ensure its availability for the region's commercial fishery, the project is clearly constructable, as demonstrated by the functionality of the initial design for the facility. The project's initial configuration was functional but not durable; thus, installing composite fender pilings and wales which have a much longer expected lifespan than wooden pilings will significantly limit future maintenance needs.

The proposed project schedule is described in Table 4, below, with the project beginning following execution of a funding agreement with MARAD. Please note that all environmental permitting except for development of a NEPA document has been initiated, and that the project construction timeline assumes that materials can be procured within this timeframe. However, the City has no control over materials availability or supply chain disruptions. However, the City anticipates a six-month project performance period to complete the proposed scope of work and is ready to begin this process upon receipt of an executed funding agreement from MARAD.

Table 4. Project Schedule

Task	Duration
Complete Environmental Permitting	120 days (in progress)
Procure Design Consultant	45 days
Final Design Documents (plans, specifications, and estimates)	60 days
Project Bidding	30 days
Project Award	15 days
Project Construction	30 days
Total Project Duration:	180 days (excluding environmental permitting)*

*Please note that the City has already initiated the environmental permitting process and anticipates having permits in hand prior to the project start date.

The City previously submitted this project for funding from the United States Economic Development Administration (EDA) and prepared a Preliminary Engineering Report describing the project. That report is enclosed as Attachment 9. No project-related real property or right-of-way acquisitions will be necessary.

Project cost data was compiled in August 2021. To accommodate potential changes in materials and labor costs, as well as the uncertainty inherent in a project which has only been designed to the 30% level, a 50% contingency has been built into the project budget to ensure that the project can be completed as designed, particularly with the Notice of Funding Opportunity (NOFO) for this grant indicating the DOT seeks to obligate funds three years from now, by September 30,

2025. Project cost data was sourced via estimates from a local engineering consulting firm for soft costs and conversations with local contractors who remove and install fender pilings in the area for hard costs.

Section V.B: Environmental Risk

No NEPA analysis has been completed for the project at the time of submittal. This project is anticipated to qualify for a Categorical Exclusion under section 6.4 of the Maritime Administration Manual of Orders MAO 600-1: "Reconstruction, modification, modernization, replacement, repair, and maintenance (including emergency replacement, repair, or maintenance) of equipment, facilities, or structures which do not change substantially the existing character of the equipment/facility/structure." The City intends to work with the selected design consultant to complete the NEPA Categorical Exclusion and any supplemental MARAD NEPA documentation following receipt of a notice to proceed from MARAD. The City anticipates the NEPA process will take approximately 8 weeks to complete, including the necessary noticing period.

The project will require a Coastal Development Permit (CDP) from the California Coastal Commission (CCC), a Notice of Exemption under the California Environmental Quality Act (CEQA), a Section 404 Certification from the Army Corp of Engineers (ACOE), a Section 401 Certification from the North Coast Regional Water Quality Control Board (NCRQCB), and a permit from the Humboldt Bay Harbor, Recreation, and Conservation District (HBHRCD). The status of each of those documents is provided in Table 5, below:

Table 5. Project Permitting Status

Permit	Agency	Status	Estimated Timeline
NEPA Categorical Exclusion	MARAD	Not initiated.	Within 8 weeks of notice to proceed
CEQA Notice of Exemption	City of Eureka	Draft complete, not yet filed.	Within 6 weeks of notice to proceed
Coastal Development Permit	California Coastal Commission	Application submitted and in progress	Secured by December 31, 2022
Section 404 Permit	United States Army Corp of Engineers	Application submitted and in progress	Secured by December 31, 2022
Section 401 Water Quality Certification	North Coast Regional Water Quality Control Board	Application submitted and in progress	Secured by December 31, 2022

Port Infrastructure Development Program Application
Fisherman's Terminal Piling Replacement Project
Applicant: City of Eureka
Funding Opportunity Number MA-PID-22-001

Harbor District Permit	Humboldt Bay Harbor, Recreation, and Conservation District	Approved on October 29, 2021	Complete.
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No known project impacts have been identified at this point in the permitting process, given the scope of the project is limited to the replacement of failed fender pilings with new, more durable composite fender pilings in the same location and the installation of wales. In order to minimize any potential impacts, the project will be implemented using appropriate Best Management Practices including the installation of a silt curtain during project activities, use of a vibratory hammer to advance the replacement pilings, and conducting work activities during low tide.

This project is not dependent on or affected by any U.S Army Corp of Engineers investment or planned activity.

Section V.C: Risk Mitigation

Potential project risks include delays in permit approval, delays in procuring or receiving necessary materials such as the composite fender pilings, and the significant uncertainty regarding future construction costs.

Delays in permit approval are out of the control of the City of Eureka. Currently, several of the City's permit applications are on hold in the review stage due to the City's uncertain funding resources for project implementation. Concurrent with the review of this PIDP application, the City will continue to work with the relevant resource agencies to secure necessary permits and limit any potential project delays related to permit issuance. Given the project's relatively short construction timeline of six months , the City anticipates that the project can be completed and all grant funds expended comfortably within five years of obligation.

Procurement delays, similar to permitting delays, are also out of the City's control. However, given the challenges with materials procurement and shipping delays over the last several years, it is possible the project may require longer than usual lead times to secure necessary materials, especially given that the identified manufacturers that provide composite pilings and wales are geographically distant from the project location, requiring shipping the materials over a long distance.

Future construction costs, while also out of the City's control, are challenging to forecast. In order to accommodate potential cost increases, the City has included a 50% contingency in each project line item. This contingency will mitigate the potential need for further supplemental funding to complete the project. The City will maintain it's 20% of total project cost match commitment even if the entire contingency is not required to complete the project.

Overall, this project is relatively straightforward and the potential delays which could slow project implementation are highly unlikely to extend the project schedule beyond the statutory deadlines for spending PIDP funding and completing the project after obligation.

Section VI: Domestic Preference

The relevant construction materials required for the proposed project are the composite fender piles themselves, the wales affixed to the fender piles, and the bracketing necessary to affix the fender piles to the existing quay. The City has identified three composite fender piling and wale manufacturers with US-based manufacturing operations (Creative Pultrusions, located in Alum Bank, Pennsylvania; Pearson Pilings, located in Fall River, Massachusetts; and Shoreline Plastics, located in Jacksonville, Florida) which satisfy the domestic preference requirements indicated in the PIDP solicitation, and there may be other domestic manufacturers who can produce the materials as well.. The bracketing system for this type of fender pile and wale is non-proprietary and can also be procured from domestic manufacturers. The City commits to including relevant language in its bid solicitation and contract documents for the project to ensure domestic preference is achieved. The City is not requesting a waiver of any domestic preference requirements for this project.

Section VII: Determinations

Project Determination	Response
1. The project improves the safety, efficiency, or reliability of the movement of goods through a port or intermodal connection to the port.	<p>The proposed project is the replacement of 40 failed or missing wood fender pilings on the Fisherman's Terminal quay in Eureka, California.</p> <p>Fender pilings protect both the quay structure and vessels from damage during routine loading and offloading activities. With all 40 pilings failing or missing, fishermen and quay workers have no safe way to secure their vessels and risk striking the quay or drifting underneath, causing damage to vessels and danger to crew. The need to take additional caution while using the facility limits throughput and slows quay operations.</p> <p>The pilings underneath both existing hoists are missing, which creates significant danger to operators and can result in damage to vessels and lost productivity.</p> <p>The failing wood pilings will be replaced with more durable plastic composite of the same size and will be installed in the same location. The use of plastic composite will result in a longer useful life than the</p>

Project Determination	Response
	current untreated wood and will provide a safer place to secure vessels.
2. The project is cost effective.	This project is a small project a small port and therefore does not require a benefit cost analysis. Not Applicable.
3. The eligible applicant has the authority to carry out the project.	<p>The City of Eureka is the principal city and county seat of Humboldt County. The City owns the Fisherman's Terminal quay and is the sole applicant for this project.</p> <p>A copy of the grant deed dated 05/03/1995 is included as Attachment 7 showing proof of property ownership.</p> <p>Additionally, the City meets all applicable Federal requirements, including domestic content requirements as specified in the Notice of Funding Opportunity.</p>
4. The eligible applicant has sufficient funding available to meet the matching requirements.	In addition to this funding request, the City of Eureka has committed a 20% matching share, despite having no matching requirement as a small project at a small port and a project in a rural area. The City's match commitment letter is included as Attachment 3.
5. The project will be completed without unreasonable delay.	<p>The City of Eureka has a track record of successfully administering and implementing grant-funded projects across a variety of disciplines.</p> <p>The city has already completed a 30% conceptual design (Attachment 4) for the project, along with drafting and submitting permit applications to the North Coast Regional Water Quality Control Board (NCRWQCB), the California Coastal Commission, the United States Army Corp of Engineers, and the Humboldt Bay Harbor, Recreation, and Conservation District. Those permit applications are currently pending and are included as Attachment 5.</p> <p>The city anticipates a 6-month project period from receipt of grant funding to project completion.</p>

Project Determination	Response
6. The project cannot be easily and efficiently completed without Federal funding or financial assistance available to the project sponsor.	<p>Without PIDP or other supplemental funding, this project will not be implemented.</p> <p>Fisherman's Terminal is a small port in a rural county and the city of Eureka does not have sufficient general fund or capital funding to implement this critical piling replacement project.</p> <p>The existing fender pilings will continue to deteriorate at a rapid rate and pose greater safety risk to operators and vessels, until the quay is no longer usable for loading and unloading equipment and goods.</p> <p>Without funding through PIDP, the City will continue to seek grant funding for the project, with an uncertain timeline for completion.</p>

Index of Attachments

Attachment 1: Narrative

Attachment 2: Attachments Form

Attachment 3: Funding Commitment Letter

Attachment 4: Project Engineering Drawings

Attachment 5: Project Planning Documents

Attachment 6: SF 424C

Attachment 7: Proof of Ownership

Attachment 8: Project Location Map

Attachment 9: Preliminary Engineering Report

ATTACHMENTS FORM

Instructions: On this form, you will attach the various files that make up your grant application. Please consult with the appropriate Agency Guidelines for more information about each needed file. Please remember that any files you attach must be in the document format and named as specified in the Guidelines.

All attachments uploaded into Grants.gov webform for submittal

Important: Please attach your files in the proper sequence. See the appropriate Agency Guidelines for details.

1) Please attach Attachment 1	<input type="text" value="Project Narrative"/>	<input type="button" value="Add Attachment"/>	<input type="button" value="Delete Attachment"/>	<input type="button" value="View Attachment"/>
2) Please attach Attachment 2	<input type="text" value="Attachments Form"/>	<input type="button" value="Add Attachment"/>	<input type="button" value="Delete Attachment"/>	<input type="button" value="View Attachment"/>
3) Please attach Attachment 3	<input type="text" value="Funding Commitment Letter"/>	<input type="button" value="Add Attachment"/>	<input type="button" value="Delete Attachment"/>	<input type="button" value="View Attachment"/>
4) Please attach Attachment 4	<input type="text" value="Project Engineering Drawings"/>	<input type="button" value="Add Attachment"/>	<input type="button" value="Delete Attachment"/>	<input type="button" value="View Attachment"/>
5) Please attach Attachment 5	<input type="text" value="Project Planning Documents"/>	<input type="button" value="Add Attachment"/>	<input type="button" value="Delete Attachment"/>	<input type="button" value="View Attachment"/>
6) Please attach Attachment 6	<input type="text" value="SF 424C"/>	<input type="button" value="Add Attachment"/>	<input type="button" value="Delete Attachment"/>	<input type="button" value="View Attachment"/>
7) Please attach Attachment 7	<input type="text" value="Proof of Ownership"/>	<input type="button" value="Add Attachment"/>	<input type="button" value="Delete Attachment"/>	<input type="button" value="View Attachment"/>
8) Please attach Attachment 8	<input type="text" value="Project Location Map"/>	<input type="button" value="Add Attachment"/>	<input type="button" value="Delete Attachment"/>	<input type="button" value="View Attachment"/>
9) Please attach Attachment 9	<input type="text" value="Preliminary Engineering Report"/>	<input type="button" value="Add Attachment"/>	<input type="button" value="Delete Attachment"/>	<input type="button" value="View Attachment"/>
10) Please attach Attachment 10	<input type="text"/>	<input type="button" value="Add Attachment"/>	<input type="button" value="Delete Attachment"/>	<input type="button" value="View Attachment"/>
11) Please attach Attachment 11	<input type="text"/>	<input type="button" value="Add Attachment"/>	<input type="button" value="Delete Attachment"/>	<input type="button" value="View Attachment"/>
12) Please attach Attachment 12	<input type="text"/>	<input type="button" value="Add Attachment"/>	<input type="button" value="Delete Attachment"/>	<input type="button" value="View Attachment"/>
13) Please attach Attachment 13	<input type="text"/>	<input type="button" value="Add Attachment"/>	<input type="button" value="Delete Attachment"/>	<input type="button" value="View Attachment"/>
14) Please attach Attachment 14	<input type="text"/>	<input type="button" value="Add Attachment"/>	<input type="button" value="Delete Attachment"/>	<input type="button" value="View Attachment"/>
15) Please attach Attachment 15	<input type="text"/>	<input type="button" value="Add Attachment"/>	<input type="button" value="Delete Attachment"/>	<input type="button" value="View Attachment"/>



CITY OF EUREKA
CITY ADMINISTRATION DEPARTMENT
Riley Topolewski, Senior Planner
531 K Street • Eureka, California 95501-1146
Ph (707) 268-1971
rtopolewski@ci.eureka.ca.gov • www.ci.eureka.ca.gov

LOCAL MATCH FUND COMMITMENT LETTER

May 10, 2022

U.S. Department of Transportation
Maritime Administration
Office of Port Infrastructure Development
1200 New Jersey Ave SE
Washington, DC 20590

RE: City of Eureka Match Commitment Letter, Fisherman's Terminal Piling Replacement Project

To whom it may concern:

This letter serves as the City of Eureka's commitment to contribute 20% of local match funds for the 2022 Port Infrastructure Development Program Grant project, Fisherman's Terminal Piling Replacement.

SOURCE OF NON-FEDERAL FUNDS:

LOCAL AGENCY FUNDING	OTHER AGENCY FUNDING	PRIVATE NON-PROFIT FUNDING	STATE AGENCY FUNDING
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

NAME OF FUNDING SOURCE:

General Fund

FUNDS AVAILABILITY DATE:

11/12/2021

FEDERAL SHARE AMOUNT REQUESTED:

\$650,000

LOCAL SHARE AMOUNT MATCH:

\$162,500

Please contact Riley Topolewski, Senior Planner, at 707-441-4160 or rtopolewski@ci.eureka.ca.gov with questions.

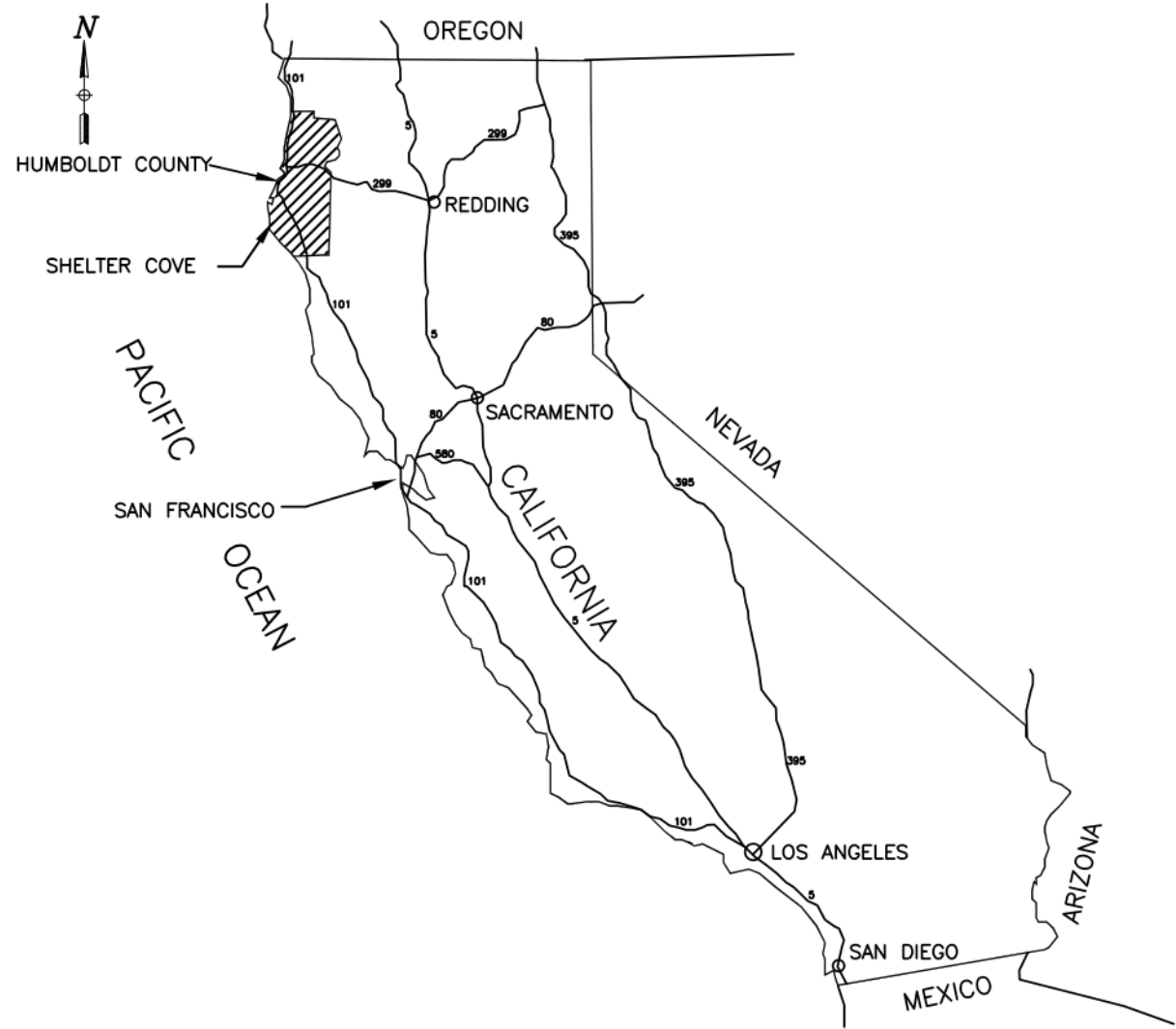
Sincerely,
City of Eureka

A handwritten signature in black ink, appearing to read "Riley Topolewski".

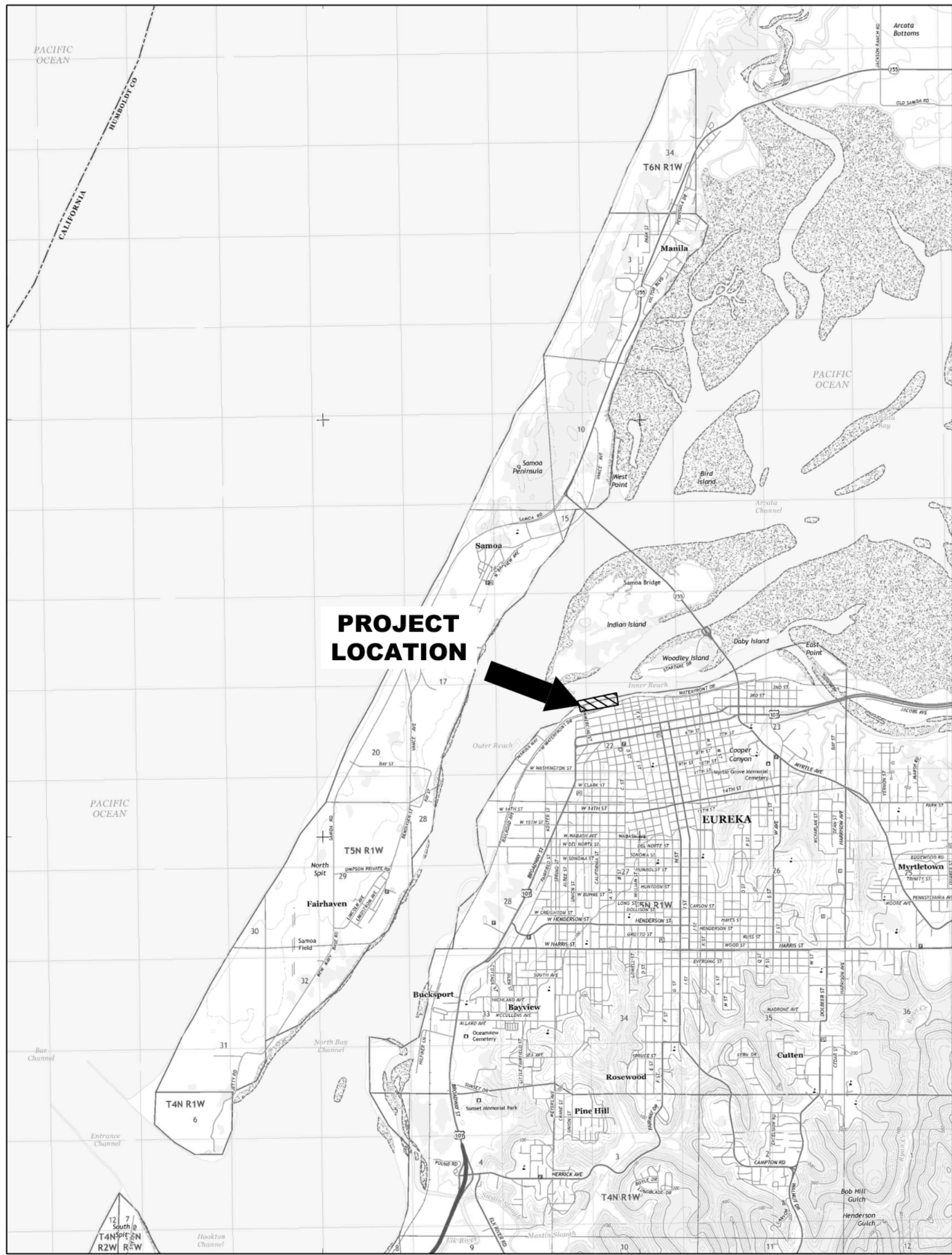
Riley Topolewski, Senior Planner

FISHERMAN'S TERMINAL FENDER PILE REPLACEMENT PROJECT

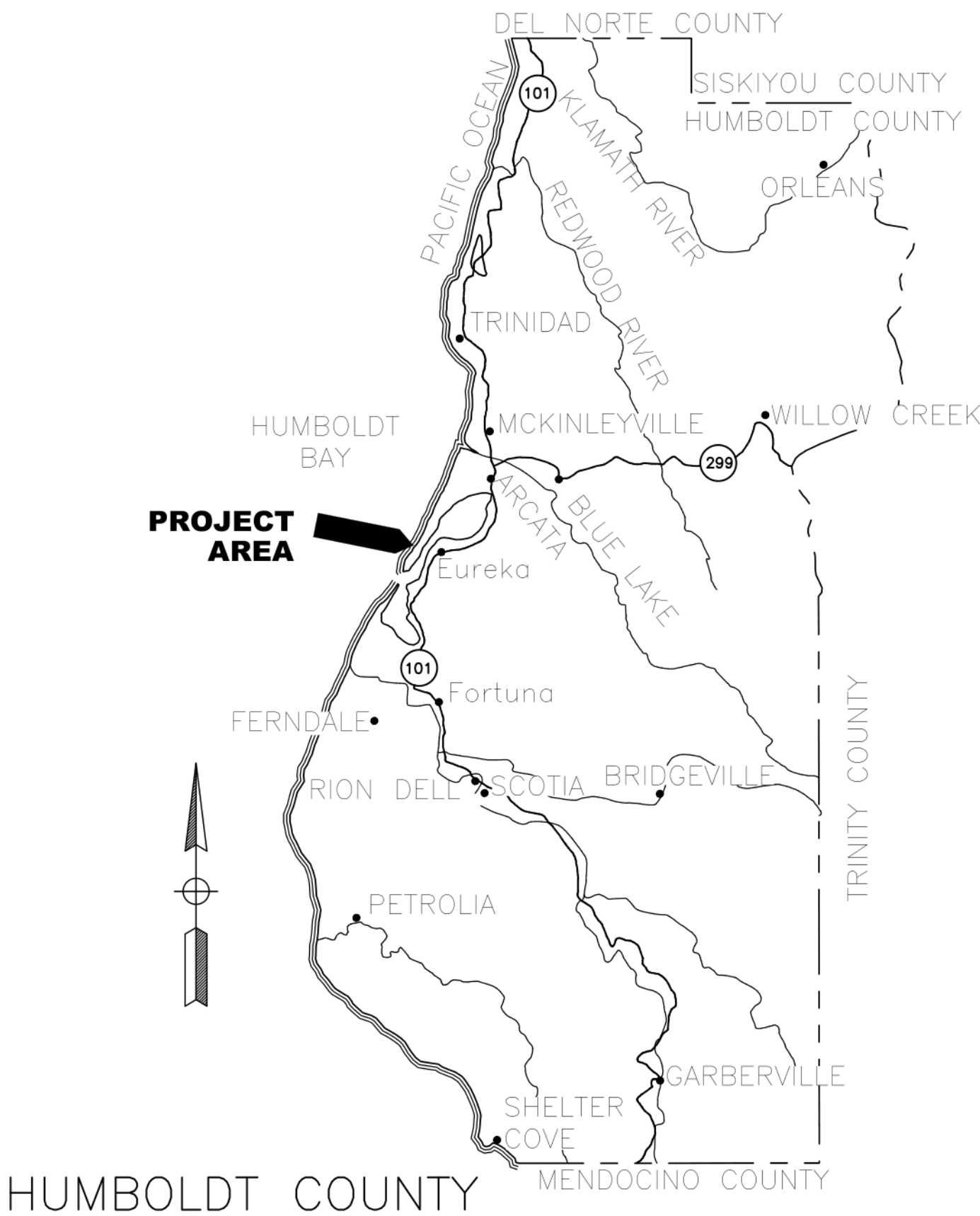
COUNTY OF HUMBOLDT, CITY OF EUREKA
EUREKA, CA



LOCATION MAP
N.T.S.



VICINITY MAP
NO SCALE



AREA MAP
N.T.S.

SHEET INDEX

SHEET NUMBER	SHEET TITLE
C0.0	CIVIL TITLE SHEET
C0.1	CIVIL LEGEND & ABBREVIATIONS
C0.2	CIVIL GENERAL NOTES
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C2.0	PILE CONNECTION PLAN

LACO
EUREKA • UKIAH • SANTA ROSA • CHICO
1-800-515-5054 www.lacoassociates.com

NO.	HISTORY / REVISION	BY	CHK.	DATE

FISHERMAN'S TERMINAL PILE REPLACEMENT
CITY OF EUREKA
4 C STREET, CA 95453

CIVIL TITLE SHEET

DRAWN	CSC
CHECK	JC
APPROVED	RLW
DATE	TBD
JOB NUMBER	8247.18
DRAWING	C0.0

DRAFT - 30% DESIGN
NOT FOR CONSTRUCTION

ABBREVIATIONS

A		G		R	
AB	-	G	-	R	-
ABON	-	GALV	-	RC	-
AC	-	GIP	-	RCP	-
ACP	-	GPM	-	RD	-
ACI	-	GRD	-	RDCR	-
AG	-	GSP	-	RDWD	-
APPROX	-	GV	-	REQD	-
ASTM	-	H		RG	-
Ⓢ	-	HB	-	RM	-
		HDR	-	RSP	-
B		HP	-	RT	-
BC	-	HORIZ	-	R/W	-
BCR	-	HT	-	S	
BF	-	HW	-	SL	-
BFPD	-	I		SCHED	-
BFV	-	ID	-	SD	-
BLDG	-	IN	-	SDMH	-
BM	-	INT	-	SECT	-
BOT	-	INV	-	SHT	-
BRG	-	J		SIM	-
BSW	-	JT	-	SPEC	-
BTWN	-	JP	-	SQ	-
BVC	-	K		SQ FT	-
BW	-	KIP	-	SQ IN	-
C		KW	-	SS	-
		L		SSMH	-
CATV	-	LT	-	STA	-
CB	-	M		STD	-
CEIL	-	MATL	-	STL	-
CFM	-	MAX	-	SW	-
CI	-	MECH	-	SYMM	-
CIP	-	MFR	-	T	
C.I.P.	-	MH	-	T	-
CJ	-	MIN	-	TAN	-
CL	-	MISC	-	T&B	-
CLC	-	MJ	-	T&G	-
CLR	-	MLT	-	TBC	-
CMP	-	N		TBM	-
CNU	-	<N>	-	TC	-
CO	-	NC	-	TELEM	-
CONC	-	NIC	-	TEMP	-
CONT	-	NO	-	THD	-
COORD	-	NO	-	TOC	-
CPLG	-	NO	-	TOG	-
CTR	-	NPT	-	TOF	-
CU FT	-	N.T.S.	-	TOW	-
CV	-	#	-	TP	-
CP	-	O		TYP	-
CY	-	OC	-	U	
		OD	-	UBC	-
D		OG	-	UOS	-
*	-	OHE	-	UG	-
d	-	OZ	-	UTIL	-
DBL	-	OVHD	-	UP	-
DDCV	-	P		V	
DI	-	PB	-	V	-
DIA	-	PCC	-	VC	-
DIAG	-	PCF	-	VCP	-
DIM	-	PE	-	VERT	-
DIP	-	PERF	-	VPI	-
DRWY	-	PEP	-	W	
DWG	-	PL	-	WM	-
		PLYWD	-	WV	-
		POC	-	X	
		PP	-	XFMR	-
		PRC	-	Y	
		PREFAB	-	YD	-
		PSF	-	YD²	-
		PSI	-	YD³	-
		PSIG	-		
		PV	-		
		PVC	-		
		PVI	-		
		PVMT	-		
		PVT	-		
		Q			
		QTY	-		

LEGEND

PROPOSED	EXISTING	
		BENCH MARK
		RADIUS POINT
		CONCRETE
		PAVEMENT
		LIGHT POST
		GUY WIRE
		FENCE
		PROPERTY LINE
		EASEMENT LINE
		CENTERLINE
		ELEVATION MARKER
		PROPERTY CORNER
		SURVEY MONUMENT
		CONTROL POINT
		CYCLONE FENCE
		BUILDING LINE
		ELECTRICAL CONDUIT
		WATER VALVE
		14" FENDER PIER
		PLASTIC LUMBER
		WATER METER
		WATER LINE
		CONSTRUCTION STAGING AREA
		GENERAL SITE AREA
		AREA OF IMPACT
		SIZE AND MATERIAL OF EXISTING PIPING MAY BE SHOWN WHEN KNOWN.
		SIZE AND MATERIAL OF NEW PIPING MAY BE SHOWN ON PLAN OR IN PROFILE.

NOTES:

- CONTACT THE ENGINEER FOR SYMBOLS NOT LISTED.
- THIS IS A STANDARD SHEET, THEREFORE SOME SYMBOLS OR ABBREVIATIONS MAY APPEAR ON THIS SHEET WHICH DO NOT APPEAR ON THE PLANS.
- SITE AND UTILITY SYMBOLS SHOWN ON THIS SHEET ARE NOT INTENDED TO REPRESENT THE PHYSICAL SCALE OR SHAPE OF ANY ITEMS. WHERE LARGE-SCALE PLANS ARE PRESENTED, THE SYMBOLS SHOWN HEREON MAY BE REPLACED BY DETAILS MORE SUITED TO THE DRAWING SCALE.

NO.	HISTORY / REVISION	BY	CHK.	DATE

FISHERMAN'S TERMINAL PILE REPLACEMENT CITY OF EUREKA 4 C STREET, CA 95453	CIVIL LEGEND & ABBREVIATIONS
---	------------------------------

DRAWN	CSC
CHECK	JC
APPROVED	RLW
DATE	TBD
JOB NUMBER	8247.18
DRAWING	C0.1

DRAFT - 30% DESIGN
NOT FOR CONSTRUCTION

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO CURRENT CALIFORNIA BUILDING CODE AND CALTRANS 2010 STANDARD SPECIFICATIONS AND PLANS, AND STANDARD DETAILS INCLUDED HEREIN.
- THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING, PROVIDED SUCH IS PERMITTED BY LOCAL PUBLIC AUTHORITIES WITH JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE A COPY OF THE TRENCH PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE EXCAVATION OF ANY TRENCH OVER FIVE FEET IN DEPTH.
- CONTRACTOR SHALL PERFORM TRENCH WORK IN CONFORMANCE WITH THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY REQUIREMENTS AND SHALL CONFORM TO ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH STANDARDS, RULES, REGULATIONS AND ORDERS ESTABLISHED BY THE STATE OF CALIFORNIA AND OTHER APPLICABLE AGENCIES.
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, GENERAL CONTRACTOR WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. ALL WORK AND EQUIPMENT SHALL COMPLY WITH THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY REQUIREMENTS. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY, AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ENGINEER AND HIS/HER CONSULTANTS.
- THE CONTRACTOR SHALL INDEPENDENTLY REVIEW EXISTING SITE IMPROVEMENTS, UTILITIES, SOILS CONDITIONS, TOPOGRAPHY, VEGETATION, AND CONDITIONS THROUGHOUT THE SITE, AND ASSUME THE RISK OF COMPLETING THE WORK SET OUT ON THESE PLANS, REGARDLESS OF ROCK, WATER TABLE, EXISTING IMPROVEMENTS, OTHER CONDITIONS WHICH MAY BE ENCOUNTERED IN THE COURSE OF THE WORK.
- ANY DISCREPANCY DISCOVERED BY THE CONTRACTOR IN THESE PLANS, OR ANY FIELD CONDITIONS DISCOVERED BY THE CONTRACTOR THAT MAY DELAY OR OBSTRUCT THE PROPER COMPLETION OF THE WORK SHOWN HEREIN SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ENGINEER IMMEDIATELY UPON DISCOVERY. SAID NOTIFICATION SHALL BE IN WRITING.
- ALL UNDERGROUND IMPROVEMENTS SHALL BE INSTALLED TESTED AND APPROVED PRIOR TO PAVING.
- THE CONTRACTOR SHALL NOT BEGIN EXCAVATING UNTIL ALL EXISTING UTILITIES HAVE BEEN MARKED IN THE FIELD. THE CONTRACTOR SHALL NOTIFY EACH APPLICABLE ENTITY AT LEAST 48 HOURS PRIOR TO COMMENCING WORK. CALL UNDERGROUND SERVICE ALERT (USA) TWO WORKING DAYS BEFORE DIGGING AT (800) 642-2444 FOR LOCATES.
- GRADING AND CONSTRUCTION CONTRACTORS SHALL STOP WORK AND NOTIFY THE OWNER AND THE ENGINEER IF CULTURAL RESOURCES ARE DISCOVERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL GIVE THE INSPECTOR 48 HOURS ADVANCE NOTICE OF ANY CONSTRUCTION OR REQUIRED TESTING.
- SHOULD THE CONTRACTOR OR ANY OF HIS AGENTS OR EMPLOYEES ENCOUNTER OR DISCOVER MATERIALS WHICH APPEAR TO BE HAZARDOUS DURING THE PERFORMANCE OF THE WORK, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY AND SUSPEND WORK IN THE AFFECTED AREA UNTIL THE ENGINEER HAS INSPECTED THE LOCATION AND MATERIALS IN QUESTION. SHOULD IT BE NECESSARY TO UNDERTAKE REMEDIATION, THE ENGINEER WILL GIVE WRITTEN NOTICE TO SUSPEND WORK IN THE AFFECTED AREA UNTIL THE PROPER COURSE OF ACTION HAS BEEN DETERMINED. OPERATIONS IN THE AFFECTED AREA SHALL BE RESUMED ONLY UPON WRITTEN NOTICE BY THE ENGINEER.
- ALL SITE GRADING WILL BE INSPECTED BY THE ENGINEER. COMPACTION TESTING WILL BE CONDUCTED AFTER SUFFICIENT DENSITIES HAVE BEEN ACHIEVED IN THE CONTRACTOR'S OPINION. THE CONTRACTOR SHALL MAKE ALL REQUESTS FOR MATERIALS TESTING AT LEAST 48 HOURS IN ADVANCE. ANY SOILS THAT FAIL TO MEET THE REQUIRED COMPACTION LEVELS SHALL BE REMOVED, AND RECOMPACTED. ALL COSTS ASSOCIATED WITH ACHIEVING COMPACTION STANDARDS SHALL BE INCLUDED IN THE CONTRACTOR'S ORIGINAL BID.
- NO CHANGES OR MODIFICATIONS SHALL BE MADE TO THESE PLANS WITHOUT WRITTEN APPROVAL BY THE ENGINEER. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO AND USES OF THESE PLANS UNLESS APPROVED IN WRITING BY THE PREPARER OF THESE PLANS OR THE CITY ENGINEER.
- THE LOCATIONS OF CITY OF LAKEPORT ELECTRICAL FACILITIES, AT&T, CABLE, AND PACIFIC GAS & ELECTRIC UTILITIES SHOWN ON THE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL POT-HOLE AND DETERMINE THE EXACT HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION AS PART OF THE COST OF THE PERFORMING WORK UNDER THIS CONTRACTOR, AND THE SHALL ADJUST THE DEPTH OF THE NEW UTILITIES TO CLEAR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE OFF-SITE DISPOSAL OF ALL BITUMINOUS PAVEMENT, CONCRETE, REINFORCEMENT, AND SPOILS NOT NEEDED FOR BACKFILL AS REQUIRED BY THE ENGINEER AND PER THESE SPECIFICATIONS.
- THE CONTRACTOR SHALL MAINTAIN REASONABLE ACCESS TO ALL DRIVEWAYS AND SIDEWALKS DURING CONSTRUCTION.
- ALL TRENCHES SHALL BE BACKFILLED AND PAVED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CITY STANDARD PLAN 222.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION, UNLESS OTHERWISE NOTED OF THE CALTRANS MANUAL OF TRAFFIC FOR CONSTRUCTION AND MAINTENANCE OF WORK ZONES. ALL SIGNS SHALL BE APPROPRIATELY CONSTRUCTED WITH REFLECTIVE MATERIAL ON A BACKING OF METAL OR FABRIC (NO WOOD OR PLASTIC ALLOWED) AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION TO PROVIDE PROPER VISIBILITY.
- ALL PAVEMENT MARKINGS DAMAGED DUE TO CONSTRUCTION SHALL BE REPLACED PER CALTRANS STANDARDS. PATCHING OF DAMAGED MARKINGS WILL NOT BE ALLOWED.
- NO CONSTRUCTION SHALL COMMENCE WITHOUT PRIOR APPROVAL OF THE CITY OF LAKEPORT PUBLIC WORKS. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL ITEMS NOT SPECIFIED FOR DEMOLITION PER PLANS.
- CONSTRUCTION MATERIALS AND EQUIPMENT SHALL BE NEW AND OF A QUALITY EQUAL TO THAT SPECIFIED OR APPROVED. WORK SHALL BE DONE AND COMPLETED IN A THOROUGH AND WORKMANLIKE MANNER.
- CONTRACTOR SHALL CONFINE HOURS OF CONSTRUCTION OPERATION TO 7 A.M. TO 7 P.M. MONDAY THRU FRIDAY, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- ALL MATERIALS DEMOLISHED & REMOVED FOR DISPOSAL SHALL BE DISPOSED OF AT A LEGALLY PERMISSIBLE LOCATION.
- ALL CONSTRUCTION TO OCCUR BETWEEN THE MONTHS OF JUNE 15 – OCTOBER 15

EROSION CONTROL NOTES:

- BMP'S SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE AND MAINTAINED SUCH THAT NO VISIBLE SEDIMENT LEAVES THE SITE.
- TRACKING CONTROLS: ENTRANCE/EXIT BMP.
- PAVED AREAS AT THE ACCESS POINTS SHALL BE SWEEPED OR VACUUMED AS OFTEN AS EACH DAY TO ELIMINATE TRACKING SOIL AND DEBRIS BEYOND THE LIMITS OF THE PROJECT SITE. ANY SOILS AND/OR DEBRIS, ROCK, GRAVEL, ETC. TRACKED BEYOND THE LIMITS OF THE PROJECT SITE AS A RESULT OF THIS PROJECT SHALL BE REMOVED IMMEDIATELY.
- DISTURBED AREAS PROTECTED TO EXTENT PRACTICAL DURING CONSTRUCTION.
- STOCKPILE MANAGEMENT TO BE IMPLEMENTED.
- DISTURBED AREA STABILIZED AS SOON AS POSSIBLE.
- THE CONTRACTOR SHALL NOT ALLOW ANY CONSTRUCTION DEBRIS TO ENTER THE STORM DRAIN OR SANITARY SEWER SYSTEMS. THE CONTRACTOR SHALL INSTALL APPROVED PHYSICAL BARRIERS TO ENSURE THAT ALL DEBRIS IS CAPTURED AND REMOVED FROM SURFACE RUNOFF PRIOR TO RELEASING SITE RUNOFF.
- SUBMIT SWPPP IN ACCORDANCE WITH SPECIAL PROVISIONS

SURVEY NOTES:

ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), DERIVED FROM NGS BENCHMARK NO. LV0466 AT CORNER OF 2ND ST. AND "A" ST.

BASIS OF BEARINGS
GRID NORTH CA STATE PLANE ZONE 1

SUBSURFACE CONDITIONS NOT SURVEYED.

FIELD SURVEY BY LACO ASSOCIATES ON DEC 2, 2020.
ONLY CONDITIONS EXISTING AT THAT TIME ARE REFLECTED ON THIS MAP.

THE CONTENT OF THIS MAP WAS DEFINED BY CONTRACT AT THE REQUEST OF CITY OF EUREKA. LACO ASSOCIATES ACCEPTS NO LIABILITY FOR USE OF THIS MAP BY ANYONE OTHER THAN THE AUTHORIZED REPRESENTATIVE THEREOF.

AN ELECTRONIC FILE OF THIS MAP HAS BEEN PREPARED AND, IF TRANSMITTED FOR USE BY OTHERS, WAS DONE SO AS A COURTESY AND IS SUPPLEMENTARY TO THE SIGNED AND SEALED ELECTRONIC PDF. DUE TO THE SUSCEPTIBILITY OF ELECTRONIC FILES TO CORRUPTION BY OTHERS, THE SIGNED AND SEALED ELECTRONIC PDF, DELIVERED TO THE CLIENT, CONSTITUTES THE ONLY ACTUAL WORK PRODUCT OFFICIALLY PRODUCED IN ACCORDANCE WITH THE EXECUTED PROFESSIONAL SERVICES AGREEMENT.

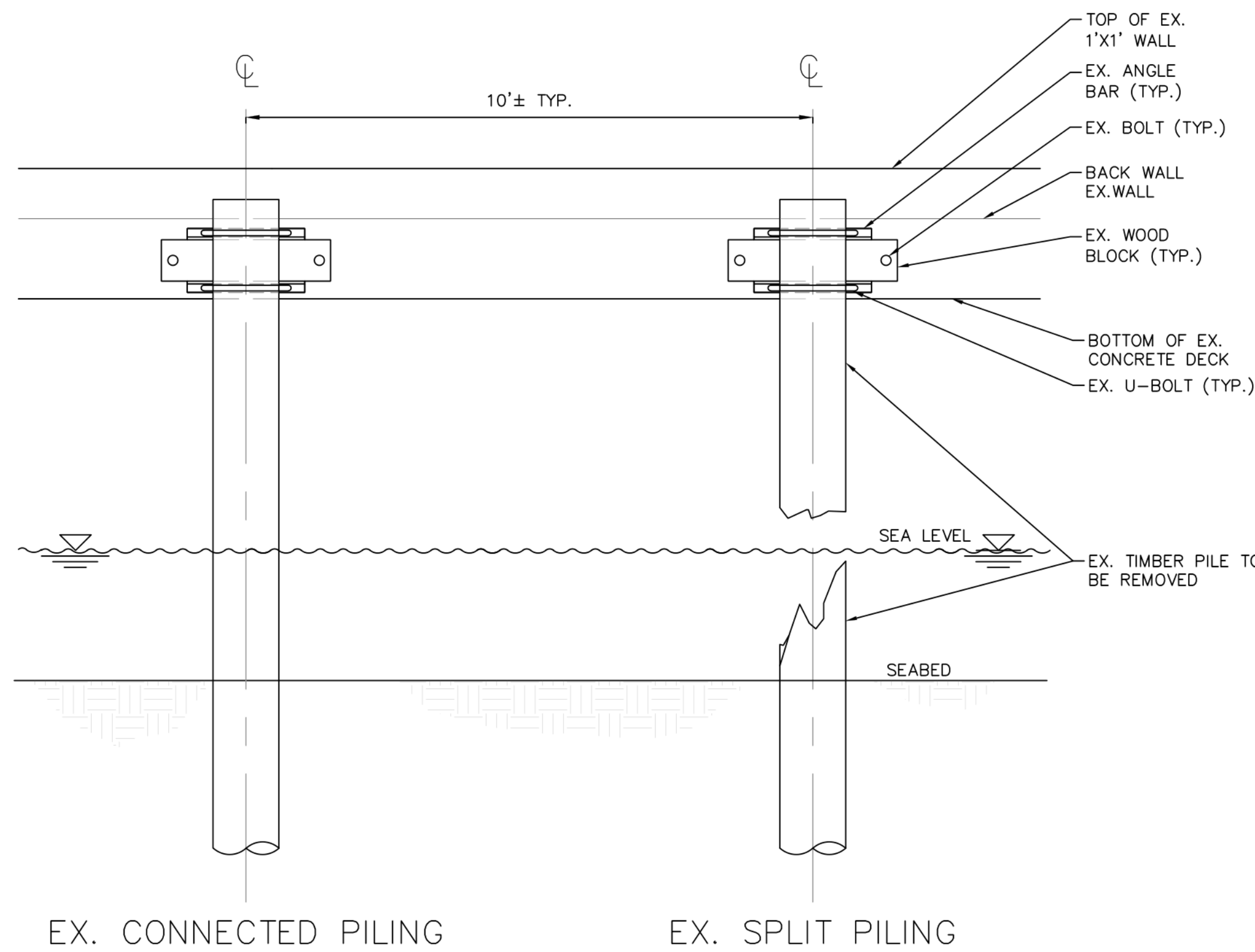
NO.	HISTORY / REVISION	BY	CHK.	DATE

FISHERMAN'S TERMINAL PILE REPLACEMENT
CITY OF EUREKA
4 C STREET, CA 95453

CIVIL GENERAL NOTES

DRAWN	CSC
CHECK	JC
APPROVED	RLW
DATE	TBD
JOB NUMBER	8247.18
DRAWING	C0.2

DRAFT - 30% DESIGN
NOT FOR CONSTRUCTION



TYPICAL EXISTING PILING DETAIL

N.T.S.

HUMBOLDT BAY ESTUARY

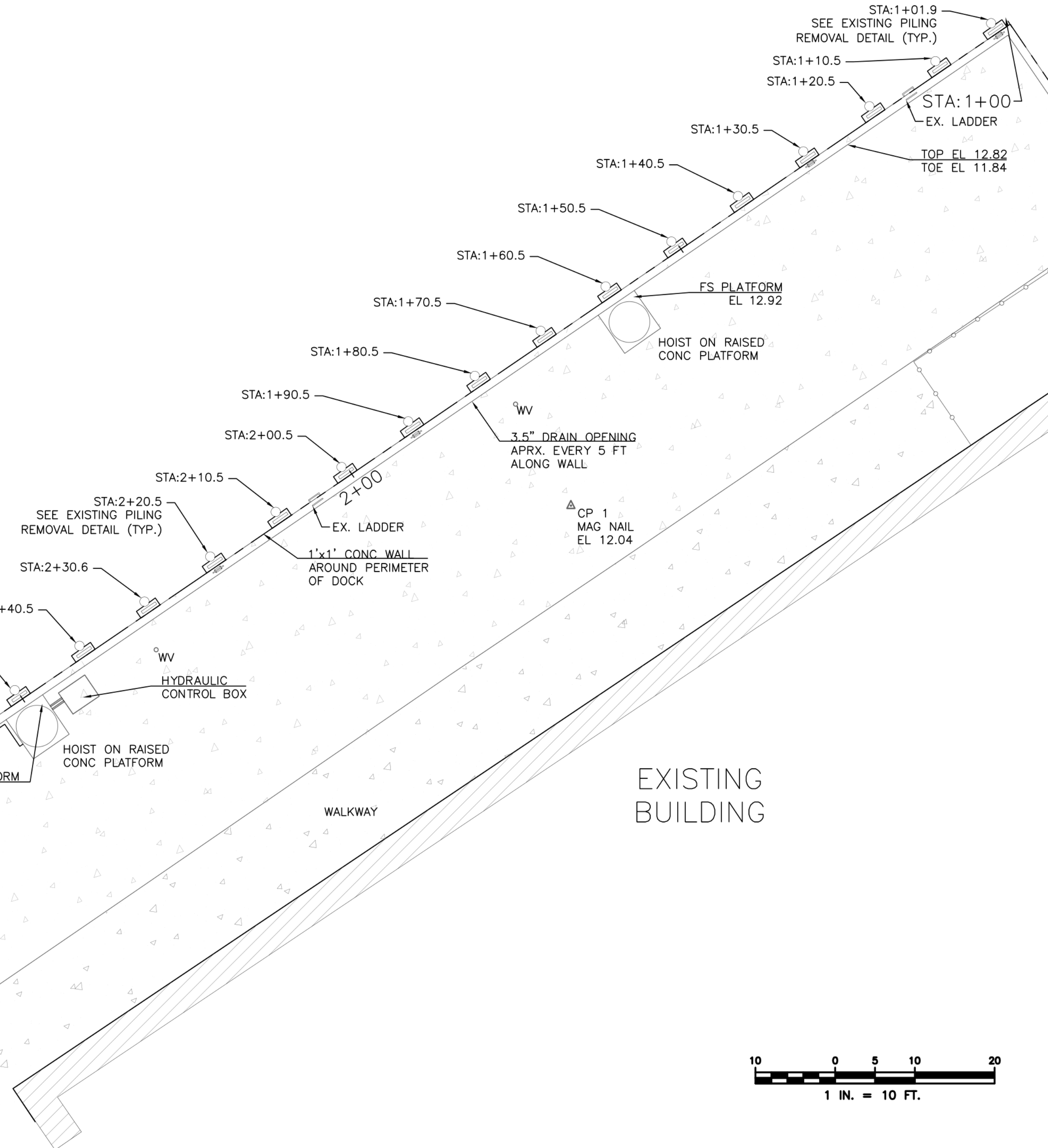
CONCRETE DECK
EL 12.08

LOADING BAY



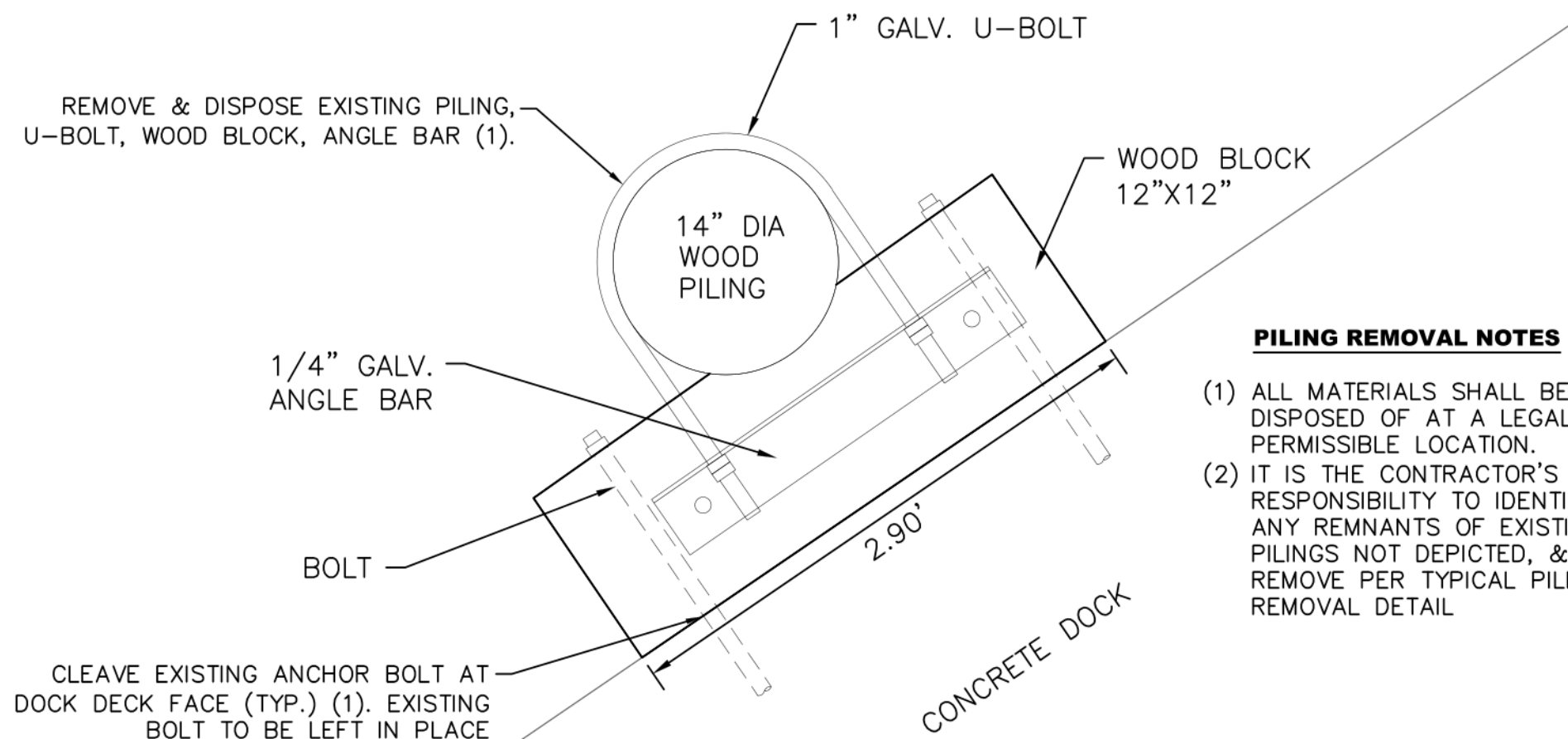
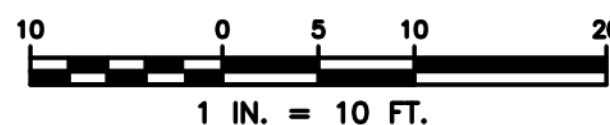
PLAN VIEW

SCALE 1"=10'



TYPICAL EXISTING PILING REMOVAL DETAIL

(NOT TO SCALE)



PILING REMOVAL NOTES

- (1) ALL MATERIALS SHALL BE DISPOSED OF AT A LEGALLY PERMISSIBLE LOCATION.
- (2) IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ANY REMNANTS OF EXISTING PILING NOT DEPICTED, & REMOVE PER TYPICAL PILING REMOVAL DETAIL

**DRAFT - 30% DESIGN
NOT FOR CONSTRUCTION**

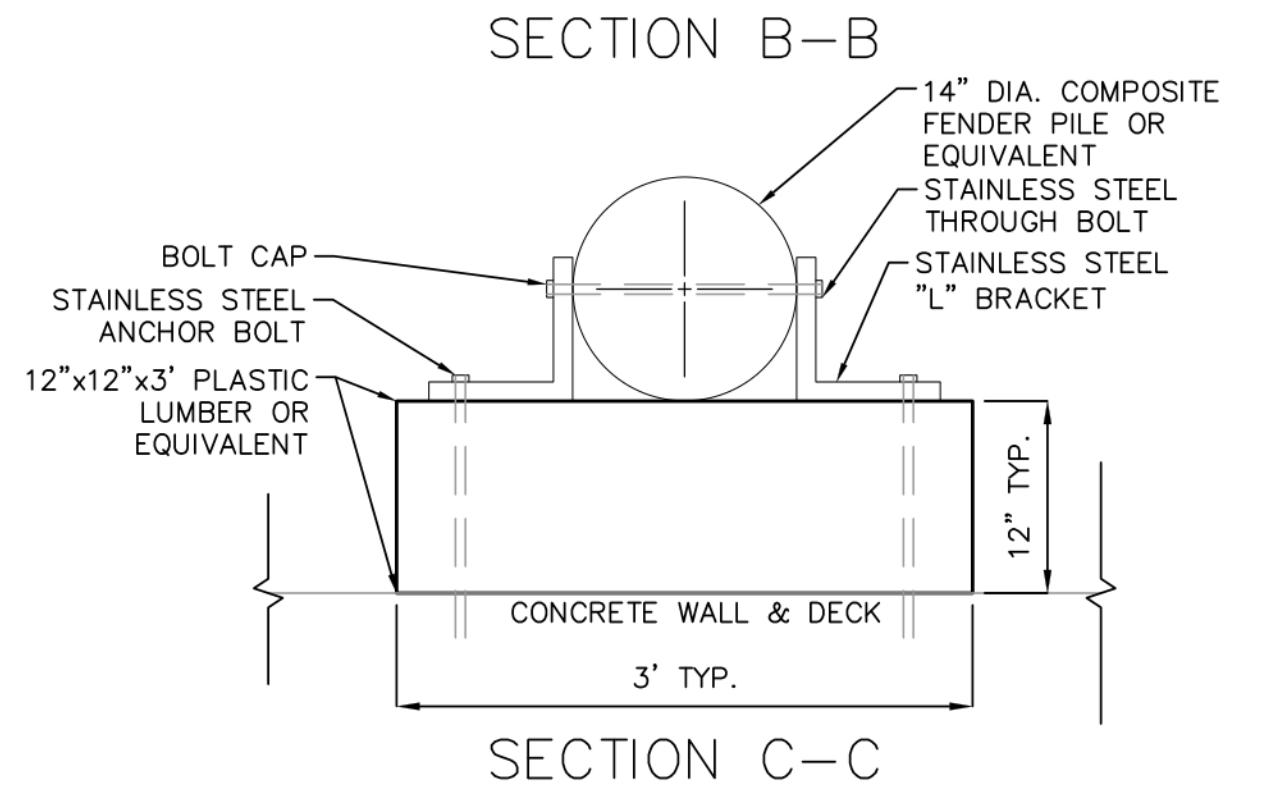
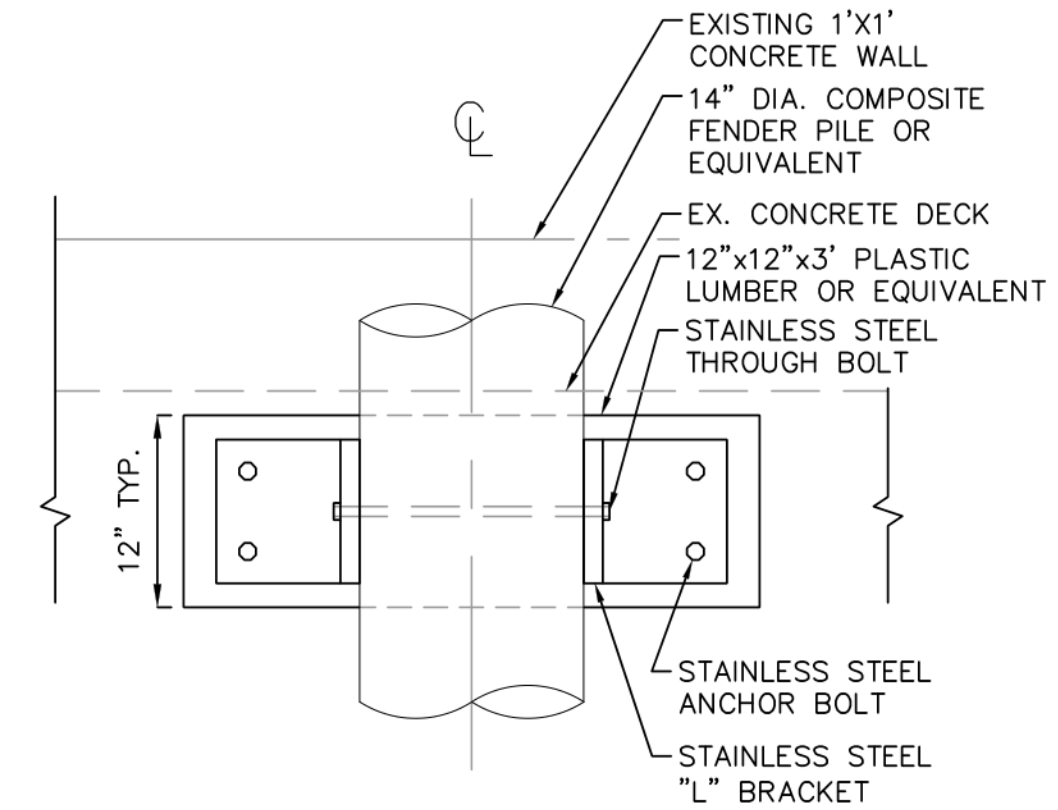
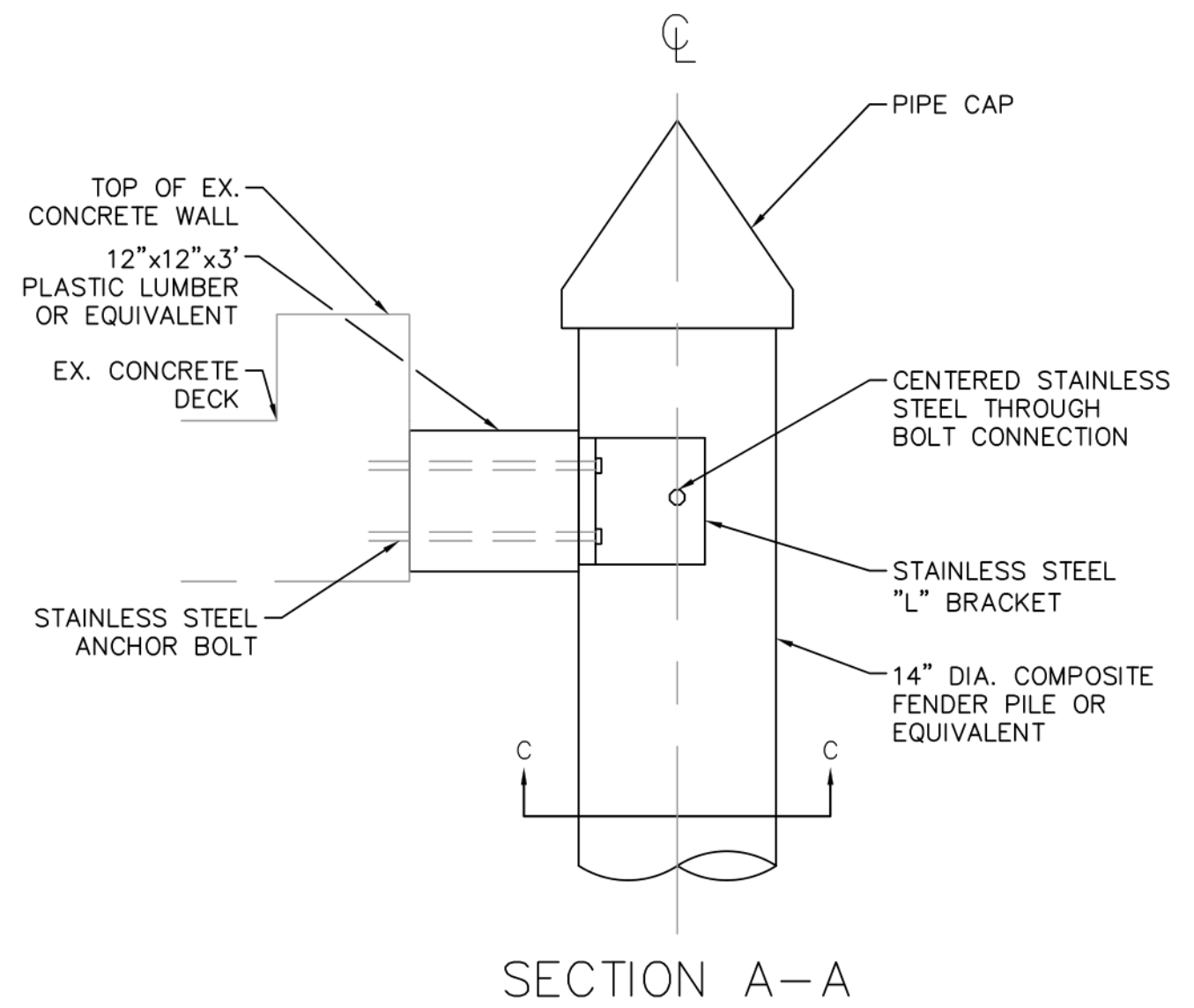
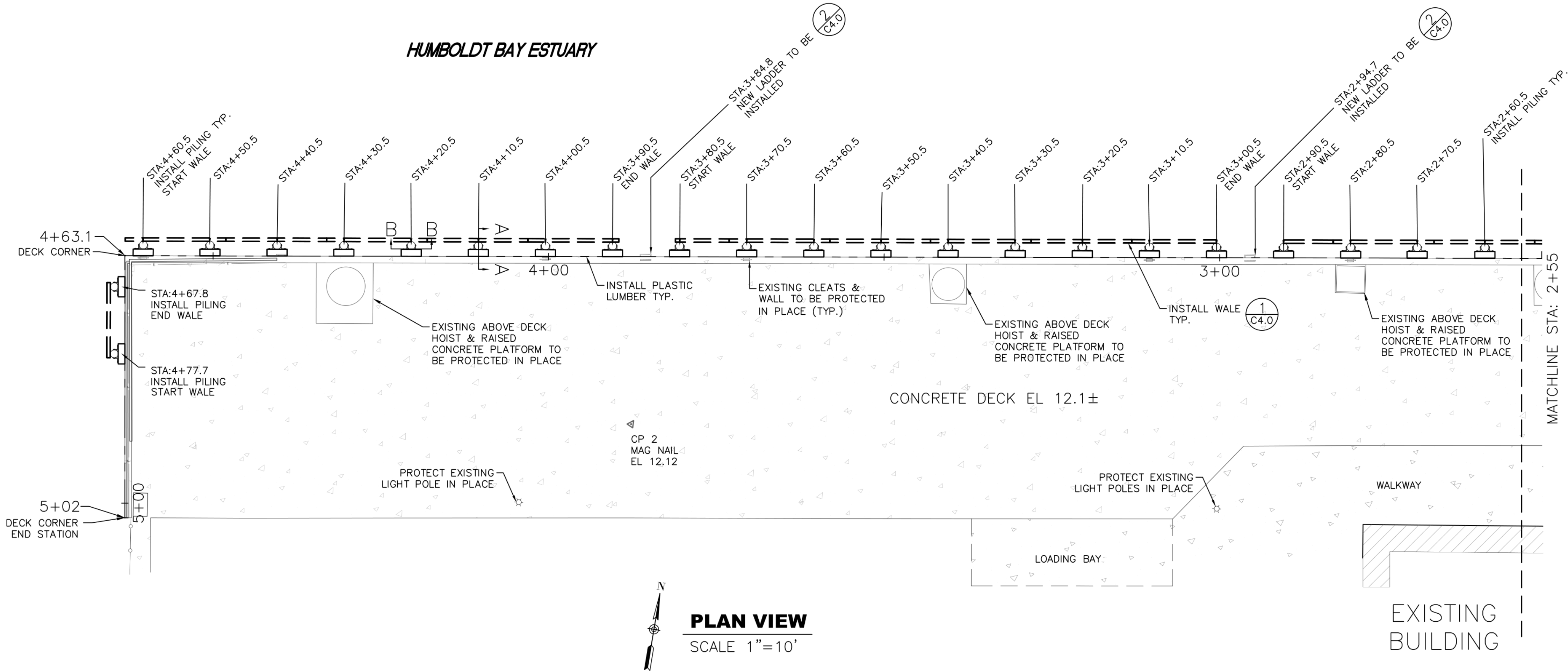
NO.	HISTORY / REVISION	BY	CHK.	DATE

FISHERMAN'S TERMINAL PILE REPLACEMENT
CITY OF EUREKA
4 C STREET, CA 95453

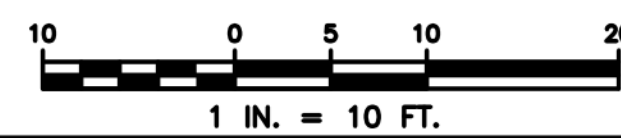
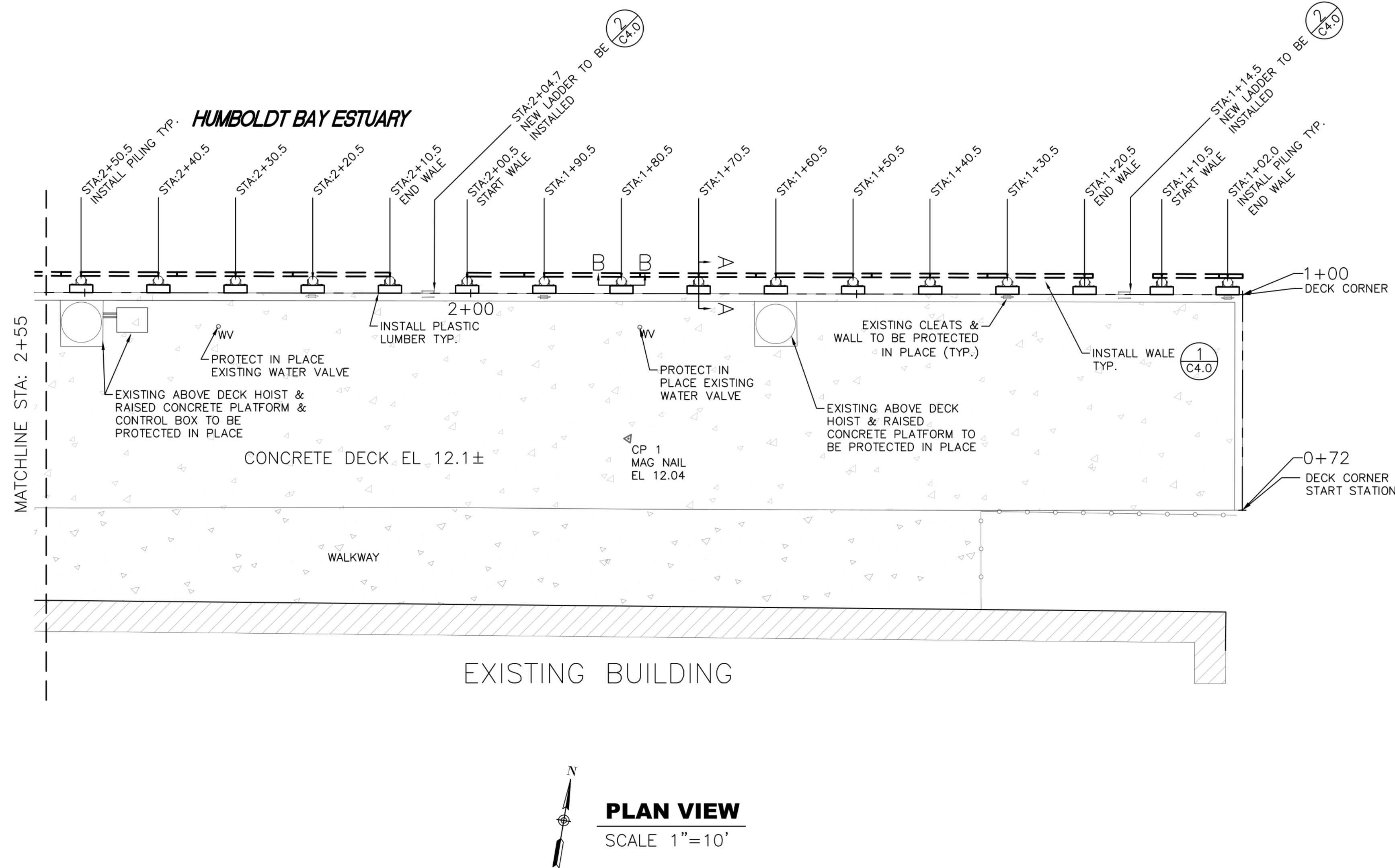
EXISTING CONDITIONS & DEMOLITION PLAN

DRAWN	CSC
CHECK	JC
APPROVED	RLW
DATE	TBD
JOB NUMBER	8247.18
DRAWING	C1.0

HUMBOLDT BAY ESTUARY



FENDER PILING AND CONNECTION DETAILS
N.T.S.



DRAFT - 30% DESIGN
NOT FOR CONSTRUCTION

DATE	BY	CHK.	HISTORY / REVISION	NO.

FISHERMAN'S TERMINAL PILE REPLACEMENT
CITY OF EUREKA
4 C STREET, CA 95453

PILE CONSTRUCTION PLAN

DRAWN	CSC
CHECK	JC
APPROVED	RLW
DATE	TBD
JOB NUMBER	8247.18
DRAWING	C2.0



HUMBOLDT BAY ESTUARY

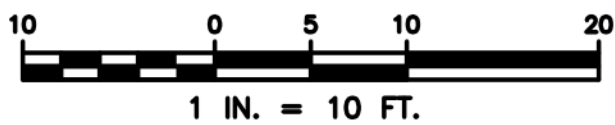
FISHERMAN'S
TERMINAL
BUILDING

LEGEND/ABBREVIATIONS

- 39 NEW 14" FENDER PILES TO REPLACE EXISTING PILES
 - AREA OF DISTURBANCE
 - PROJECT AREA
 - CONSTRUCTION STAGING AREA
- FISHERMAN'S TERMINAL IS A JOINT USE FACILITY. IT IS COMPRISED PARTLY OF A RESTAURANT & A FISH PROCESSING FACILITY.



PLAN VIEW
SCALE 1"=20'



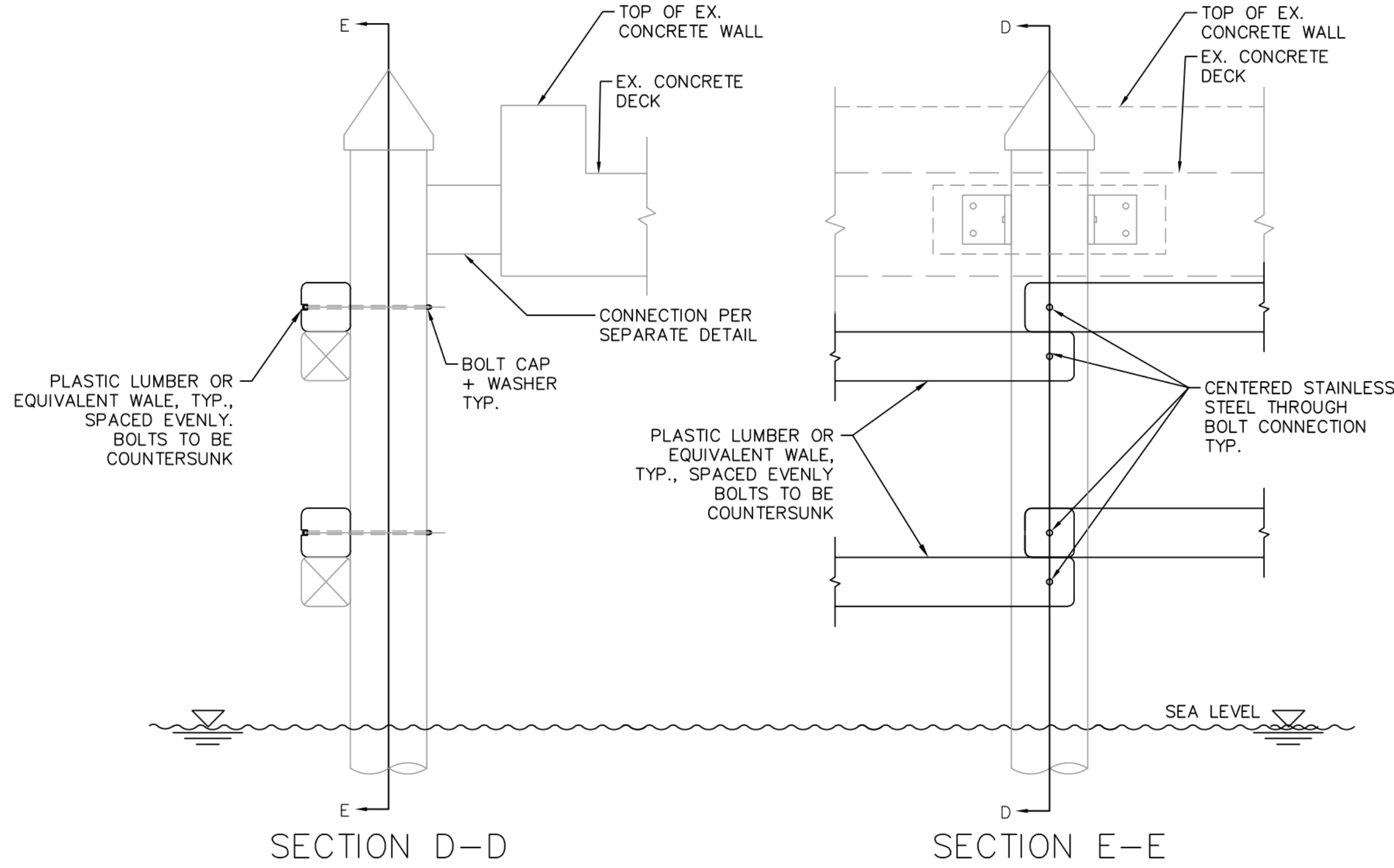
DRAFT - 30% DESIGN
NOT FOR CONSTRUCTION

LACO
EUREKA • UKIAH • SANTA ROSA • CHICO
1-800-515-5054 www.lacoassociates.com

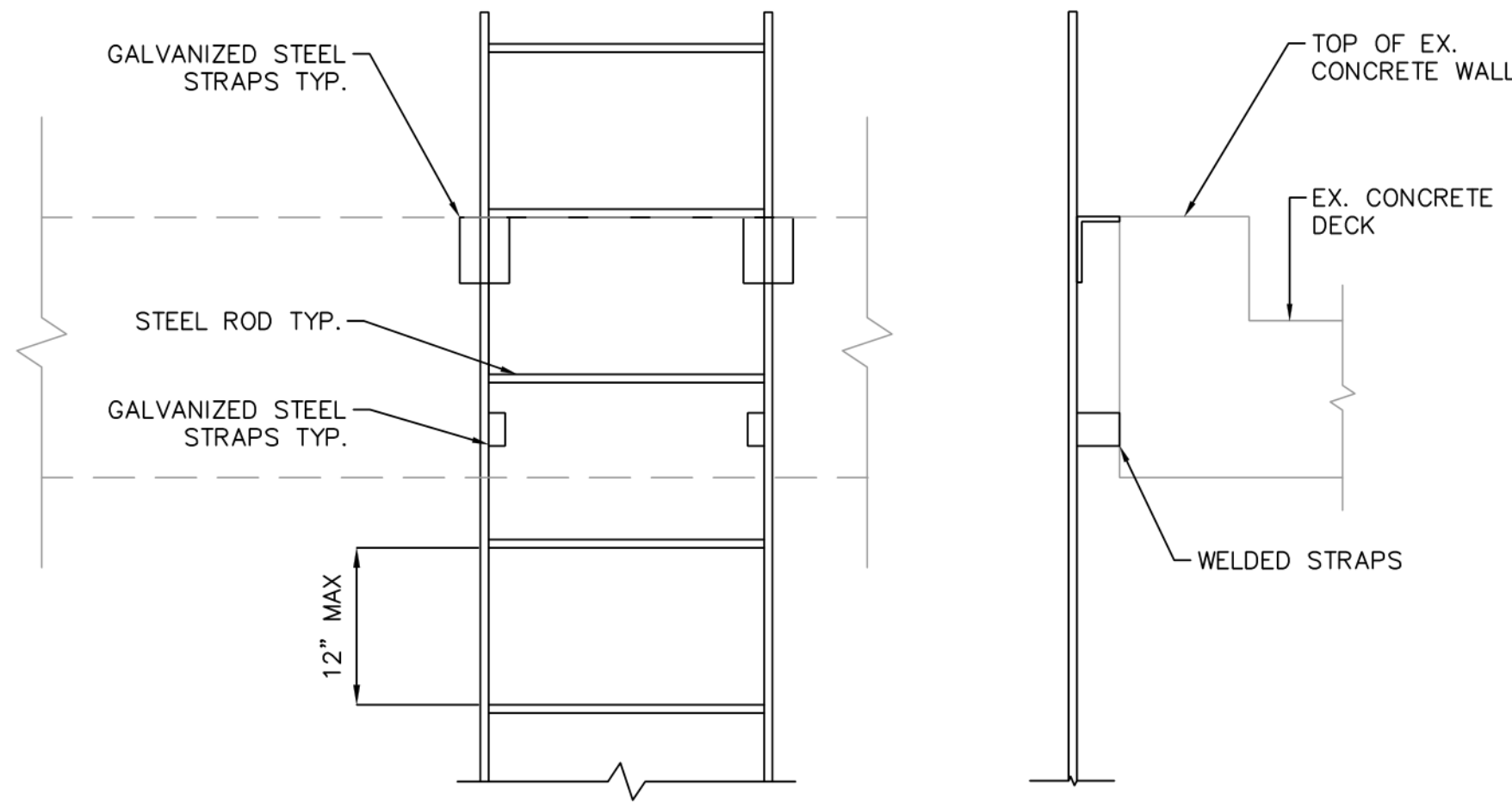
FISHERMAN'S TERMINAL PILE REPLACEMENT
CITY OF EUREKA
4 C STREET, CA 95453

CONSTRUCTION STAGING PLAN

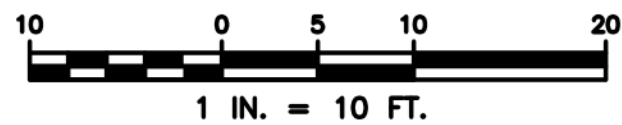
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CHECK	JC
APPROVED	RLW
DATE	TBD
JOB NUMBER	8247.18
DRAWING	C3.0



1 **WALE SPACING DETAILS** N.T.S.



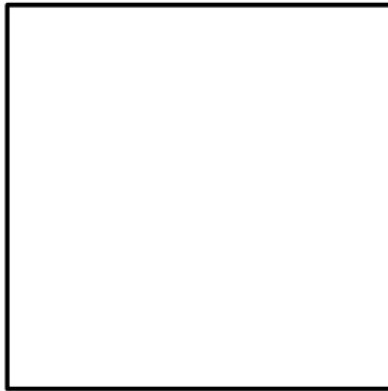
2 **WELDED STEEL LADDER** N.T.S.



DRAFT - 30% DESIGN
NOT FOR CONSTRUCTION

NO.	HISTORY / REVISION	BY	CHK.	DATE

FISHERMAN'S TERMINAL PILE REPLACEMENT CITY OF EUREKA 4 C STREET, CA 95453	CONSTRUCTION DETAILS
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DRAWN	CSC
CHECK	JC
APPROVED	RLW
DATE	TBD
JOB NUMBER	8247.18
DRAWING	C4.0

COMMISSIONERS

1st Division

Vacant

2nd Division

Greg Dale

3rd Division

Stephen Kullmann

4th Division

Richard Marks

5th Division

Patrick Higgins

Humboldt Bay
Harbor, Recreation and Conservation District
 (707) 443-0801
 P.O. Box 1030
 Eureka, California 95502-1030



STAFF REPORT
HARBOR DISTRICT MEETING
November 4, 2021

TO: Honorable Board President and Harbor District Board Members

FROM: Larry Oetker, Executive Director

DATE: October 29, 2021

TITLE: Consider Adopting Resolution No. 2021-15 A Resolution Establishing Findings Relative to Permit 2021-05; a CEQA Exemption; and Conditional Approval of Permit 2021-05 for the City of Eureka Fisherman's Terminal Piling Replacement Project.

STAFF RECOMMENDATION: Staff recommends that the Board: Adopt Resolution No. 2021-15 A Resolution Establishing Findings Relative to Permit 2021-05; a California Environmental Quality Act Exemption; and Conditional Approval of Permit 2021-05 for The Fisherman's Terminal Piling Replacement Project.

SUMMARY: The City of Eureka applied for a Harbor District permit for the Fisherman's Terminal Piling Replacement Project. The Harbor District Board is to consider issuing a permit. The purpose of the Project is to repair the loading and unloading dock at the Fisherman's Terminal, located at the terminus of C Street in Eureka, California at 40.8057°N, 124.1703°W, Assessor's Parcel Numbers (APNs) 001-011-013 and 0001-111-015, by replacing failed and failing fender pilings. The project involves the replacement of existing deteriorated/damaged wooden pilings with plastic composite pilings of the same size in the same location of the existing pilings.

BACKGROUND: The Fisherman's Terminal serves as a hub for the local commercial fishing industry during all seasons and is a critical facility for supporting this segment of the local economy. The existing concrete dock was originally constructed with approximately 40, 14-inch diameter wooden pilings, spaced at approximately 10-foot intervals, affixed to the dock via 1-inch diameter galvanized wound collar guides and 12" by 12" wooden blocking. The Project will result in the removal and replacement of all 40 wooden pilings with new, plastic composite pilings. The use of plastic composite pilings will limit damage to vessels which contact the pilings and keep vessels tied to the pilings in place while also providing a solution with a longer life span than the existing pilings.

DISCUSSION:

The Project involves the replacement of 40, 14-inch diameter wooden pilings that are severely degraded, rotted, and deteriorated, with 40 plastic composite pilings of the same size at the same location as the existing wooden pilings, at the existing Fisherman's Terminal located at the foot of C Street in Eureka. The connections to the existing dock would also be repaired or replaced to ensure a strong connection between the pier and the pilings. The City has selected plastic pilings as an appropriate replacement for the failing wooden pilings as plastic pilings will have a longer useful lifespan than wood pilings and also do not require any chemical treatments to reach their maximum useful lifespan. Treated wooden pilings are likely to have a shorter useful lifespan, requiring more frequent future replacement, and may also leach chemical treatments into the bay. Existing pilings will be removed by using divers to excavate around each pile to expose enough of the pile to secure rigging to the piles, which will then be removed using an excavator located on the adjacent dock. Removed pilings will be placed in sealed bins and hauled to an appropriate hazardous waste disposal site such as the Humboldt Waste Management Authority's Hazardous Waste Facility in Eureka. No waste is anticipated to enter the bay during or after construction.

The project is conditioned upon the applicant complying with the piling installation and removal best management practices (BMPs). These BMP's shall be implemented to ensure any potential impacts are minimized. Temporary impacts related to sediment disturbance during piling removal/replacement will be minimized by project timing (low tide); use of a turbidity curtain to be installed and kept in place during project construction; and use of vibratory extraction and hammering. No eelgrass is known to occur within the project area.

California Environmental Quality Act

The City of Eureka as lead agency prepared a Notice of Exemption (NOE) under Class 1, §15301 (Existing Facilities) as there is no substantial evidence the project will have a significant effect on the environment. The project would not result in an expansion of use, but would repair the existing dock by replacing the severely damaged pilings. Best management practices (BMPs) would be implemented to ensure any potential impacts are minimized and no waste associated with the piling replacement would be allowed to enter Humboldt Bay. The Humboldt Bay Harbor District is a responsible agency for the proposed project and must review and consider the information contained in the application and NOE.

ATTACHMENTS:

- A. Resolution No. 2021-15 A Resolution Establishing Findings Relative to Permit 2021-05; A CEQA Exemption; and Conditional Approval of Permit 2021-05 for The Fisherman's Terminal Piling Replacement Project
- B. California Environmental Quality Act – Notice of Exemption

Documents incorporated here by reference are on file with the Harbor District and available online in the 8-12-21 Board Meeting Packet

(<http://humboltdbay.org/sites/humboltdbay2.org/files/Agenda%20PACKET%2008-12-2021.pdf>):

- Application – City of Eureka, Fisherman's Terminal Piling Replacement Project
- Technical Memorandum for Fisherman's Terminal Piling Replacement Project

**HUMBOLDT BAY HARBOR, RECREATION
AND CONSERVATION DISTRICT**

RESOLUTION NO. 2021-15

A RESOLUTION ESTABLISHING FINDINGS RELATIVE TO PERMIT 2021-05; A CALIFORNIA ENVIRONMENTAL QUALITY ACT EXEMPTION; AND CONDITIONAL APPROVAL OF PERMIT 2021-05 FOR THE FISHERMAN'S TERMINAL PILING REPLACEMENT PROJECT

WHEREAS, the Board of Commissioners of the Humboldt Bay Harbor, Recreation, and Conservation District is empowered by Appendix II of the Harbors and Navigation Code, and its own ordinances and resolutions, to grant permits, leases, rights, and privileges;

WHEREAS, no permits, rights, leases, and privileges may be granted without first having considered certain potential impacts and without first having made findings relative to said impacts;

WHEREAS, the City of Eureka has applied to the Humboldt Bay Harbor, Recreation, and Conservation District for Fisherman's Terminal Piling Replacement Project "Project"; and

WHEREAS, the Board of Commissioners of the Humboldt Bay Harbor, Recreation, and Conservation District has been presented with certain evidence relating to the impact of the Fisherman's Terminal Piling Replacement Project upon the air, land, environment, and ecology of the Bay under the jurisdiction of the Humboldt Bay Harbor, Recreation, and Conservation District.

NOW, THEREFORE, BE IT RESOLVED by the Board of Commissioners of the Humboldt Bay Harbor, Recreation and Conservation District as follows:

1. That the Board of Commissioners of the Humboldt Bay Harbor, Recreation and Conservation District has found, after considering the impact of the proposed use upon the air, water, land, environment, and ecology of the lands under the jurisdiction of the Humboldt Bay Harbor, Recreation, and Conservation District, that:
 - a) The proposed uses are necessary to promote public safety, health, comfort, and convenience of the public;
 - b) The proposed uses are required by the public convenience and necessity;
 - c) The proposed uses will not have any substantial adverse environmental or ecological effect;
 - d) The proposed use is consistent with the Humboldt Bay Management Plan;
 - e) The permit, right, or privilege is reasonably required by public convenience to promote growth, and to meet area demands, and does not adversely affect the environment or ecology of the area to any substantial degree; and
 - f) The proposed use will not produce an unreasonable burden on the natural resources and aesthetics of the area, on the public health and safety, and air and water quality in the vicinity of Humboldt Bay, or on the parks, recreation and scenic area, historic sites and buildings, or archeological sites in the area.

2. That the Board accepts the CEQA determination, Notice of Exemption (NOE) under Class 1, §15301 (Existing Facilities), made by the City of Eureka as lead agency that there is no substantial evidence the project will have a significant effect on the environment.
3. That the Board approves Permit No 2021-05 conditionally approving the Fisherman's Terminal Piling Replacement Project (Attachment A1).

PASSED AND ADOPTED by the Humboldt Bay Harbor, Recreation and Conservation District Board of Commissioners at a duly called meeting held on the 4th day of November 2021, by the following polled vote:

AYES:

NOES:

ABSENT:

STEPHEN KULLMANN, Chair
Board of Commissioners

ATTEST:

PATRICK HIGGINS, Secretary
Board of Commissioners

CERTIFICATE OF SECRETARY

The undersigned, duly qualified and acting Secretary of the HUMBOLDT BAY HARBOR, RECREATION AND CONSERVATION DISTRICT, does hereby certify that the attached Resolution is a true and correct copy of RESOLUTION NO. 2021-15 entitled,

A RESOLUTION ESTABLISHING FINDINGS RELATIVE TO PERMIT 2021-05; A CALIFORNIA ENVIRONMENTAL QUALITY ACT EXEMPTION; AND CONDITIONAL APPROVAL OF PERMIT 2021-05 FOR THE FISHERMAN'S TERMINAL PILING REPLACEMENT PROJECT

as regularly adopted at a legally convened meeting of the Board of Commissioners of the HUMBOLDT BAY HARBOR, RECREATION AND CONSERVATION DISTRICT, duly held on the 4th Day of November 2021; and further, that such Resolution has been fully recorded in the Journal of Proceedings in my office and is in full force and effect.

IN WITNESS WHEREOF, I have hereunto set my hand this 4th Day of November 2021.

**Patrick Higgins, Secretary
Board of Commissioners**

HUMBOLDT BAY HARBOR, RECREATION AND CONSERVATION DISTRICT

PERMIT

Permit No. 2021-05

**601 Startare Drive
Woodley Island Marina
P.O. Box 1030
Eureka, CA 95502-1030**

Permittee:

City of Eureka
Riley Topolewski
531 K Street, Eureka, CA 95501
(707) 441-4160
rtopolewski@ci.eureka.ca.gov

Contact/Agent:

Jordan Blough, Project Manager
LACO Associates
21 W. 4th Street, Eureka, CA 95501
Contact person/Agent:
(707) 443-5054
bloughj@lacoassociates.com

The Board of Commissioners of the **Humboldt Bay Harbor, Recreation and Conservation District** hereinafter referred to as “**District**”, having considered the Application herein, number 2021-05, filed by City of Eureka, hereinafter referred to as “**Permittee**”, and the **Humboldt Bay Harbor, Recreation and Conservation District (HBHRCD)** as responsible agency, pursuant to the California Environmental Quality Act of 1970, as amended, having made a determination adopting the Notice of Exemption (NOE) and the Board of Commissioners of the **District** having on November 4, 2021, passed Resolution No. 2021-15 establishing findings relative to the Application by **Permittee** for the Fisherman’s Terminal Piling Replacement Project as provided for in this Permit, the **Permittee** is hereby authorized to perform the work as more particularly described in the Application filed with the **District**.

You are hereby authorized to conduct that activity described in the Permit Application of **Permittee** consisting of:

The Project will repair the loading and unloading dock at the Fisherman's Terminal, located at the terminus of C Street in Eureka, California by replacing failed and failing fender pilings. The Project will result in the removal of 40, 14-inch diameter wooden pilings and replacement with new, 14-inch diameter plastic composite pilings.

SUBJECT TO THE FOLLOWING TERMS AND CONDITIONS:

1. If the **Permittee** materially changes the activity plan and scope, it will be necessary to request a permit revision.
2. That all work authorized by this Permit shall further be subject to the approval of the following public agencies as applicable:
 - A. United States Army Corps of Engineers

- B. North Coast Regional Water Quality Control Board
- C. California Coastal Commission
- D. California Department of Fish and Wildlife

and **Permittee** shall fully comply with all regulations and conditions affecting such work as imposed by the above agencies.

3. That this Permit, if not previously revoked or specifically extended, shall cease and be null and void and terminate on November 4, 2022. If **Permittee** cannot complete the work within the time granted by this Permit, an application for extension must be filed prior to the Permit termination date. The Executive Director may administratively grant up to a one (1) year extension.
4. All construction debris shall be removed from the site and disposed of only at an authorized disposal site. Sidecasting of such material or placement of any such material within Humboldt Bay or any wetland area is prohibited.
5. The permittee and any and all contractors completing work for the project must follow the District's Piling Removal and Installation Best Management Practices (Exhibit 1).
6. If archeological or cultural features or materials are unearthed during any phase of project activity, all work in the immediate vicinity of the find shall halt until the **Permittee** has contacted the Wiyot Tribe's Cultural Department, and the significance of the resource has been evaluated, to the satisfaction of the Wiyot Tribe. Any mitigation measures that may be deemed necessary will be provided to the Wiyot Cultural Director for review and input to ensure they are consistent with the standards for cultural resource mitigation particularly in cooperation with Native American tribal representatives and the California State Native American Heritage Commission. Mitigation measures shall be implemented by a qualified archeologist representing the **Permittee** prior to resumption of construction activities. If human remains are exposed by project related activity, the **Permittee** shall comply with California State Health and Safety Code, §7050.5, which states that no further disturbance shall occur until the County Coroner has made the necessary findings as to the origin and disposition pursuant to California Public Resources Code, §5097.98.
7. That there shall be no unreasonable interference with navigation by the work herein authorized.
8. That no attempt shall be made by the **Permittee** to interfere or forbid the full and free use by the public of all navigable waters at or adjacent to the work.

9. That the **District**, its Commissioners, or any officer or employee of the **District** shall in no case be liable for any damages or injury of the work herein authorized which may be caused by or result from future operations undertaken by the **District** for the conservation or improvement of navigation, or for other purposes, and no claim or right to compensation shall accrue from any such damage.
10. That neither the **District**, nor its Board of Commissioners, nor any officer of the **District** shall be liable to any extent for any such injury or damage to any person or property or for the death of any person arising out of or connected with the work authorized by this Permit.
11. That the Board of Commissioners of the **District** may revoke this Permit at any time upon a finding by the **District** of a violation by the **Permittee** of any condition of this Permit.
12. That the **Permittee** shall comply with any regulations, condition, or instructions affecting the work hereby authorized if and when issued by the Federal Water Pollution Control Administration and/or the State of California Water Resources Control Agency having jurisdiction to abate or prevent water pollution. Such regulations, conditions, or instruction in effect or prescribed by Federal or State Agencies are hereby made a condition of this Permit.
13. That as a condition to the issuance of this Permit, **Permittee** agrees to indemnify and hold harmless **District** from and against any and all liability, loss, or damage **District** may suffer from claims and demands for attorneys' fees, costs of suit, and costs of administrative records made against **District** by any and all third parties as a result of third party environmental actions against **District** arising out of the subject matter of this Permit, including, but not limited to attorneys' fees, costs of suit, and costs of administrative records pursuant to the California Code of Civil Procedure §1021.5 or any other applicable local, state or federal laws, whether such attorneys' fees, costs of suit, and costs of administrative records are direct or indirect, or incurred in the compromise, attempted compromise, trial appeal or arbitration of claims for attorneys' fees, costs of suit, and costs of administrative records in connection with the subject matter of this Permit.
14. That this Permit is valid as of November 4, 2021 and is made subject to the **Permittee** approving and agreeing to the conditions above set forth herein and executing said approval as hereinafter provided.

EXECUTED on this 4th Day of November 2021, by authority of the Board of Commissioners of the **Humboldt Bay Harbor, Recreation and Conservation District**.

STEPHEN KULLMANN, Chair
Board of Commissioners
Humboldt Bay Harbor, Recreation and
Conservation District

City of Eureka, **Permittee**, in the above Permit, hereby accepts and agrees to all of the conditions hereinabove set forth. **Permittee** shall indemnify and hold harmless the **District**, its Board of Commissioners, officers and employees from any and all claims of any nature arising from the performance of and work of improvement contained in the Application for injury, death or damage to any person or property.

City of Eureka, **Permittee**, in the above Permit, agrees to indemnify and hold harmless **District**, its Board of Commissioners, officers and employees from and against any and all liability, loss or damage **District** may suffer from claims and demands from attorneys' fees; costs of suit and costs of administrative records made against **District** by any and all third parties as a result of third party environmental actions against **District** arising out of the subject matter of this Permit including, but not limited to, attorneys' fees, costs of suit and costs of administrative records pursuant to the California Code of Civil Procedure §1021.5 or any other applicable local, state or federal laws, whether such attorney's fees, costs of suit and costs of administrative records are direct or indirect, or incurred in the compromise, attempted compromise, trial, appeal or arbitration of claims for attorneys' fees, costs of suit and costs of administrative records in connection with the subject matter of this Permit.

Dated: _____

City of Eureka Representative

Exhibit 1

Piling Removal and Installation Best Management Practices



The following Best Management Practices shall be followed. The Harbor District shall update these BMP's based on the specific site conditions and industry standards:

1. The following methods may be utilized for piling removal or installation:
 - a) Vibratory Hammer: A vibratory hammer with timber clamp.
 - b) Impact Hammer: If an impact hammer is proposed, the Department of Fish and Wildlife's Interim Criteria for Injury to Fish from Pile Driving Activities shall be incorporated into Project plans. According to the Interim Criteria, the sound pressure levels should not exceed 206 dB peak and 187 dB accumulated sound exposure level (SEL) for all listed fish except those that are less than 2 grams. For fish less than 2 grams, the criteria for accumulated SEL should not exceed 183 dB.
 - If sound pressure levels exceed those in the Interim Criteria, The applicant shall contact the CA Department of Fish and Wildlife to determine if an application for an Incidental Take Permit and a sound attenuation monitoring plan is required.
 - A wood cushion block shall be utilized during impact hammering to reduce noise impacts.
 - c) Water Jet: If a water jet is proposed the water intake shall be screened to meet the Department of Fish and Wildlife water intake screen criteria. The Project shall monitor turbidity within 500 feet of the project site to ensure that the turbidity is not greater than 20% above background turbidity levels. If the turbidity levels exceed 20% over background levels, water jet operations shall cease and adaptive measures shall be implemented to ensure that the turbidity standard is not exceeded.
2. Avoid staging the barge or other equipment over eelgrass habitat. If eelgrass is within 100 feet of the site, the District's Eel Grass Avoidance and Minimization Measures and Best Management Practices shall be followed.
3. Equipment:
 - a) An excavator, crane, or other similar piece of equipment carrying a vibratory hammer and timber clamp shall be used to remove the piles.
 - b) The excavator or crane operators shall be experienced with vibratory pile removal.
 - c) Bio-degradable hydraulic fluid shall be utilized.
 - d) All equipment will be checked before use in order to minimize risk of petroleum product releasing to the bay.
 - e) A spill response kit, including oil absorbent pads shall be on-site to collect any petroleum product that is accidentally released.
 - f) The barge, tug and all watercraft shall be of sufficient size, as determined by the Humboldt Bay Harbor Master, to be capable of safely handling the equipment. The Harbor Master, at his/her discretion may "retag" any watercraft determined

- be unsafe or unseaworthy.
 - g) Contractor shall maintain Workman's Compensation, Jones Act, and/or Maritime insurance as may be required for the work performed.
- 4. Pile removal:
 - a) Pile removal and/or Installation may be conducted either from shore, pier/dock and/or from a barge.
 - b) Piles shall be removed at a tide of sufficient elevation to float the barge and tug boat adjacent to the piles being removed without scarring the mudflats and/or Bay subsurface.
 - c) Grounding of the barge shall not be permitted.
 - d) The crane operator shall "break" the soil/pile bond prior to pulling in order to limit pile breakage and sediment adhesion.
 - e) Piles shall be removed slowly to limit sediment disturbance.
 - f) Piles shall not be hosed off, scraped, or otherwise cleaned once they are removed from the sediment.
 - g) If piles cannot be fully removed, the broken piles shall be cut one foot below the mudline.
- 5. Work surface on barge deck, pier, or shore shall include a containment area for removed piles and any sediment removed during pulling to prevent materials/sediment from re-entering the water. Uncontaminated water run-off can return to the waterway after it passes through a waddle, haybale, or other sediment filter.
 - a) The containment area shall be constructed of durable plastic sheeting.
 - b) Upon completion of the project, the plastic containment, and sediment filter shall be removed and disposed in accordance with applicable federal and state regulations.
- 6. Upon removal, the pile shall be moved expeditiously from the water into the containment area.
 - a) The pile shall not be shaken, hosed-off, left hanging to drip or any other action intended to clean or remove adhering material from the pile.
 - b) The piles shall not be reused in Humboldt Bay and shall be disposed of in accordance with applicable federal and state regulations.
 - c) Holes left in the sediment by the pilings shall not be filled as they are expected to naturally fill.
- 7. Debris Capture in Water
 - a) A floating surface boom shall be installed to capture floating surface debris.
 - b) The boom shall be located at a sufficient distance from the work area to ensure capture of all work materials.
 - c) Debris shall be collected, placed in the containment area, and disposed of along with the disposal of the pilings and containment material.
 - d) Debris contained within boom shall be removed at the end of each work day or immediately if waters are rough and there is a chance that debris may escape the boom.

Notice of Exemption

Appendix E

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044

County Clerk

County of: Humboldt

825 5th Street, 5th Floor

Eureka, California 95501

From: (Public Agency): City of Eureka

531 K Street

Eureka, California 95501

(Address)

Project Title: Fisherman's Terminal Piling Replacement Project

Project Applicant: City of Eureka

Project Location - Specific:

Terminus of C Street at existing Fisherman's Terminal pier

Project Location - City: Eureka

Project Location - County: Humboldt

Description of Nature, Purpose and Beneficiaries of Project:

The purpose of the project is to repair the loading and unloading dock at the Fisherman's Terminal by replacing existing failed and failing fender pilings. The project involves the removal and replacement of all 40 existing 14-inch diameter wooden pilings that have severely degraded with new plastic composite pilings of the same size. The use of plastic composite pilings will limit damage to vessels which contact the pilings and keep vessels tied to the pilings in place while also providing a solution with a longer lifespan than the existing pilings that were installed over a decade ago. Existing pilings will be removed by using divers to excavate around each pile to expose enough of the pile to secure rigging to the piles, which will then be removed using an excavator located on the adjacent dock. New fender piles will be driven into the existing pier waterfront face via vibratory hammer and will be connected via an interface to the pier. Once the pilings are in place, non-structural plastic wales will be installed across the pilings to provide further protection to vessels using the facility.

Name of Public Agency Approving Project: City of Eureka

Name of Person or Agency Carrying Out Project: City of Eureka

Exempt Status: (check one):

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- ☐ Categorical Exemption. State type and section number: Class 1 (Existing Facilities) - Section 15301
- ☐ Statutory Exemptions. State code number: _____

Reasons why project is exempt:

The project would not result in an expansion of use, but would rather repair the existing dock by replacing the severely damaged pilings. Best management practices (BMPs) would be implemented to ensure any potential impacts are minimized and no waste associated with the piling replacement would be allowed to enter Humboldt Bay.

Lead Agency

Contact Person: Riley Topolewski (Senior Planner) Area Code/Telephone/Extension: (707) 441-4160

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? Yes No

Signature: [Signature] Date: 6/3/21 Title: Senior Planner

Signed by Lead Agency

Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: _____

Application: Discharges of Dredged or Fill Material to Waters of the State

The State Water Resource Control Board (State Board) or Regional Water Quality Control Boards (collectively, Water Boards) have the authority to regulate the discharge of dredged or fill material under section 401 of the Clean Water Act (CWA) and the Porter-Cologne Water Quality Control Act (Porter-Cologne). Dischargers that obtain a federal permit or license that authorizes impacts to waters of the U.S. (i.e., waters that are within federal jurisdiction), such as section 404 of the CWA and section 10 of the Safe Rivers and Harbors Act, must obtain certification from the Water Boards to ensure that the discharge does not violate state water quality standards or any other appropriate requirement of State law. When a discharge is proposed to waters outside of federal jurisdiction, the Water Boards regulate the discharge under Porter-Cologne through the issuance of Waste Discharge Requirements (WDRs). CWA section 401 Water Quality Certifications, WDRs, and waivers of WDRs are referred to as orders or permits.

The State Wetland Definition and Procedures for the Regulation of Discharges of Dredged or Fill Material to Waters of the State (Procedures) and the California Code of Regulations, title 23, section 3856 identify items that are required for a complete application in all cases. Additionally, the Procedures identify items that may be required for a complete application on a case-by-case or conditional basis. The State Water Board webpage links to the [Procedures](https://www.waterboards.ca.gov/water_issues/programs/cwa401/docs/procedures_conformed.pdf) (https://www.waterboards.ca.gov/water_issues/programs/cwa401/docs/procedures_conformed.pdf).

Water Board staff will review an application within 30 days of receipt and provide a completeness determination to the applicant. A completeness determination may include a request for additional information for a complete application. Application fees must be paid before an application is determined complete. See Application Section Thirteen for options on how to make a payment.

For more information on how applications will be processed, refer to the [Implementation Guidance for the Procedures](https://www.waterboards.ca.gov/water_issues/programs/cwa401/docs/dredge_fill/revised_guidance.pdf) (https://www.waterboards.ca.gov/water_issues/programs/cwa401/docs/dredge_fill/revised_guidance.pdf).

This application form outlines a broad range of items that may be required; however, as noted above, not all items are required in all cases. Use of this form is not required. Applicants may submit information that was submitted for a different federal or state permit to reduce duplicative submittals. In such cases, applicants should use the text boxes in this form to indicate the name, relevant section, and page number where relevant information is located. Finally, the level of detail submitted with this application should be commensurate with the size and the scope of the proposed discharge.

Applicants are encouraged to contact the appropriate Water Board to discuss the applicability of this application form, items required for a complete application, and/or the appropriate level of detail needed to obtain authorizations.

Applications for projects that cross regional board boundaries should be submitted to the State Board. All other applications should be submitted to the appropriate regional water quality control board.

A staff directory for the Water Board's Water Quality Certification Program is located on the [program webpage](https://www.waterboards.ca.gov/water_issues/programs/cwa401/docs/wqc_staffdir.pdf) (https://www.waterboards.ca.gov/water_issues/programs/cwa401/docs/wqc_staffdir.pdf).

STOP: If you answer 'yes' to any of the following questions, do not complete this application. Instead, please contact the State Water Board's Division of Water Rights to obtain a copy of their water quality certification application:

- Does the project require a Federal Energy Regulatory Commission (FERC) license or amendment to a FERC license?
- Does this project involve an appropriation of water?
- Does this project involve a diversion of water for domestic, irrigation, power, municipal, industrial, or other beneficial use?

Section One: Contact Information

Review **Section Twelve** Legally Responsible Person (LRP) eligibility and signature requirements before completing this application.

Applicant (Organization and Legally Responsible Person) Information	
Organization Name:	City of Eureka
LRP Name:	Riley Topolewski
Title:	Senior Planner
Street Address:	531 K Street
City:	Eureka
State:	California
County:	Humboldt
Zip Code:	95501
Telephone:	(707) 441-4160
Email:	rtopolewski@ci.eureka.ca.gov

The LRP may assign a Duly Authorized Representative (DAR) to make decisions on their behalf and provide application information. If a DAR is assigned to this project, provide the assigned person's contact information below and assign the DAR in Section Twelve.

Duly Authorized Representative Information (Optional)	
Organization Name:	LACO Associates
DAR Name:	Jordan Blough
Title:	Project Manager
Street Address:	21 W. 4th Street
City:	Eureka
State:	California
County:	Humboldt
Zip Code:	95501
Telephone:	(707) 443-5054
Email:	bloughj@lacoassociates.com

Section Two: Project Information

Project Name or Title: Project Name should match all other agency permits and correspondence
Fisherman's Terminal Piling Replacement Project

Project Street Address: Provide the project's physical location, not the mailing address

City: Eureka

State: California

County: Humboldt

Zip Code: 95501

Latitude: 40.8057

Longitude: -124.1703

Assessor's Parcel Number(s): 001-011-013, -015

Section, Township, Range: S22, T5N, R1W

Directions to the Project Site:

The project is located at the Fisherman's Terminal at the terminus of C Street in Eureka, California

Project Purpose and Overall Goal of Entire Activity:

The project's purpose is to repair the loading and unloading dock at the Fisherman's Terminal by replacing failed and failing fender pilings. The existing wooden pilings would be replaced with plastic composite pilings of the same size in the same location. The use of plastic composite pilings is proposed to limit damage to vessels which contact the pilings while also providing a solution with a longer lifespan than the existing wooden pilings, installed over a decade ago.

Project Description: Provide a full, technically accurate description of the entire project.

See attached.

Project Size: Total size of the entire project area for all work/activities/construction that will be performed to meet the final goal: ~0.25 **acres**

Is this a linear project (for example a powerline, pipeline, highway, etc.)? Yes ☐ No ☒

If yes, indicate length of project from end-to-end in feet: **feet**

Anticipated Project Start and End Dates:

Construction Start Date: May 2020

Construction End Date: June 2020

Estimated Construction Duration: **months**
Approximately 3 weeks

Will any ground disturbance take place during the wet season months?

Yes ☐ No ☒

Additional Information: Additional information may include documentation relevant to pre-application consultations which may help inform application processing.

In addition to responding to the questions above, provide a project map with a scale of at least 1:24000 (1" = 2000') and of sufficient detail to show:

- The boundaries of the lands owned or to be utilized by the applicant in carrying out the proposed activity, including grading limits, proposed land uses, and the location, dimensions and type of any structures erected (if known) or to be erected.
- All aquatic resources that may qualify as waters of the state, within the boundaries of a project, and all aquatic resources that may qualify as waters of the state outside of the boundary of the project that could be impacted by the project.

A map verified by the Corps may satisfy this requirement if it includes all potential waters of the state.

Note that a map in electronic format (e.g., GIS shapefiles) may be required.

Section Three: Agency Contact Information

Attach copies of any final and signed federal, state, and local licenses, permits, and agreements (or copies of the draft documents or submitted application, if not finalized) associated with construction, operation, maintenance, or other actions relevant to the project. If a draft or final document is not available, a list of all remaining agency regulatory approvals being sought should be included. (CCR § 3856 (e).)

Federal Permit(s) or Completed Federal Applications

U.S. Army Corps of Engineers

☐ Not Applicable

District: ☐ Los Angeles ☐ Sacramento ☒ San Francisco

☐ Individual Permit

☐ Letter of Permission

☒ Which Nationwide Permit Number has been applied for, if any? 3

For Nationwide Permits, select one of the following: ☐ Non-Reporting, or ☒ Reporting

☐ Corps File No.

☐ Regional General Permit / Number

☐ Other Permit Name:

Corps Contact Information
Name:
Telephone:
Email:

U.S. Fish and Wildlife Service

☒ Not Applicable

☐ Biological Assessment

☐ Biological Opinion

☐ Incidental Take Permit

U.S. Fish and Wildlife Contact Information
Name:
Telephone:
Email:

National Marine Fisheries Service

☒ Not Applicable

☐ Biological Assessment

☐ Biological Opinion

National Marine Fisheries Service Contact Information
Name:
Telephone:
Email:

State Permit(s) or Completed State Application(s)

List permits for activities related to waters whether applied for or approved, e.g., California Department of Fish and Wildlife (CDFW) Lake or Streambed Alteration Agreement (Fish and Game Code sections 1600-1608), CESA section 2081 Incidental Take Permit, Construction Stormwater Enrollment, Coastal Development Permit, etc.

State or Local Permit Number	File Date	Tracking Number
<input type="checkbox"/> CDFW Lake and Streambed Alteration Agreement (Fish and Game Code section 1600)		
<input type="checkbox"/> CDFW Incidental Take Permit (Fish and Game Code section 2081)		
<input type="checkbox"/> CDFW Consistency Determination (Fish and Game Code section 2080)		
<input type="checkbox"/> State Water Board Construction Stormwater General Permit Enrollment		
<input checked="" type="checkbox"/> California Coastal Commission (Development Permit)		
<input type="checkbox"/> California Coastal Commission (Consistency Determination)		
<input type="checkbox"/> Bay Conservation and Development Commission (Development Permit)		
<input type="checkbox"/> Bay Conservation and Development Commission (Consistency Determination)		
<input type="checkbox"/> Central Valley Flood Protection Board		
<input type="checkbox"/> Other:		

State or Local Agency Contact Information: Provide additional contacts, as needed	
Agency Name:	California Coastal Commission
Contact Name:	
Telephone:	
Email:	

Agency Name:	
Contact Name:	
Telephone:	
Email:	

Section Four: Special Status Species

If known, provide information about the presence of species identified as rare, threatened, or endangered under state or federal law. Attach all biological assessments, surveys, formal consultation determination letters, and mitigation proposals, as applicable.

Are you aware of any rare, threatened, or endangered species at this site? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
Species Habitat and/or Name	Biological Assessment Prepared?	Survey Conducted? (Yes/No)	Dates Survey Conducted
See attached.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
	Yes <input type="checkbox"/> No <input type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	
	Yes <input type="checkbox"/> No <input type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	

Was the project planned in accordance with an approved Habitat Conservation Plan (HCP) or Natural Community Conservation Plan (NCCP)? Yes ☐ No ☒

If yes, list the HCP or NCCP name:

Section Five: California Environmental Quality Act and/or National Environmental Policy Act Compliance

Unless an exemption applies, the Water Boards must comply with the California Environmental Quality Act (CEQA). Although not required for a complete application, final CEQA documentation must be provided to the Water Board with ample time to properly review before an Order may be issued. (CCR § 3856 (f).)

The Water Boards will determine whether a project qualifies for a CEQA exemption during review of the project information. Identify below if applicable the relevant categorical or statutory exemption number you believe applies.

If you do not know whether a CEQA exemption applies to the proposed project, submit the application with as much information as possible.

Document Type	Status (In Preparation, Complete, or Under Revision)	Date Completed or Expected Completion Date
Scoping Document		
Initial Study		
Negative Declaration		
Notice of Preparation		
Mitigated Negative Declaration		
Environmental Document		

Notice of Exemption
(Class 1 - Existing Facilities)

Complete

Does the project meet a statutory or categorical CEQA exemption?

No ☐

Yes, proposed statutory exemption number:

Yes, proposed categorical exemption number: Class 1 - Existing Facilities

Section Six: Aquatic Resource Information

Attach any aquatic resource delineation reports and maps for all aquatic resources that may qualify as waters of the state, including those outside of federal jurisdiction. Water Board staff will verify the presence or absence of waters of the state outside of federal jurisdiction during the application review process. (CCR § 3856 (h)(7).) The Water Boards may require supplemental field data from the wet season to substantiate dry season delineations (Procedures section IV.A.2.a).

Aquatic Resource Delineation Report Information

Was an aquatic resource delineation report prepared? Yes ☐ No ☒

Report Title:

Delineation Date(s):

Name of Person who Prepared the Report:

Title of Person who Prepared the Report:

Organization/Company who Prepared the Report:

Was the report verified by the U.S. Army Corps of Engineers? Yes ☐ No ☒

If yes, enter verification date and submit a copy of the verification with this application:

Are there waters outside of federal jurisdiction? Yes ☐ No ☒

Receiving waters and groundwater potentially impacted by any project are protected in accordance with the applicable [water quality control plans](https://www.waterboards.ca.gov/plans_policies/#plans) (https://www.waterboards.ca.gov/plans_policies/#plans) (Basin Plans) for the regions and [other plans and policies](http://www.waterboards.ca.gov/plans_policies) (http://www.waterboards.ca.gov/plans_policies). If known, list impacted hydrologic unit(s) in the impacted Regional Water Quality Control Board's Basin Plan. The Basin Plans include water quality standards, which consist of existing and potential beneficial uses of waters of the state, water quality objectives to protect those uses, and the state and federal antidegradation policies.

The Lahontan Regional Water Quality Control Board prohibits discharge to lands within the Walker, Carson, Lake Tahoe, Little Truckee, and Truckee River Hydrologic Basins unless specific prohibition exemption criteria are met. For projects in this region, in addition to this application, complete the applicable prohibition criteria form for projects discharging to the [Lake Tahoe Hydrologic Basin](https://www.waterboards.ca.gov/lahtontan/water_issues/programs/clean_water_act_401/docs/att3.doc) (https://www.waterboards.ca.gov/lahtontan/water_issues/programs/clean_water_act_401/docs/att3.doc) or the [Little Truckee or Truckee River](https://www.waterboards.ca.gov/lahtontan/water_issues/programs/clean_water_act_401/docs/att4.doc) (https://www.waterboards.ca.gov/lahtontan/water_issues/programs/clean_water_act_401/docs/att4.doc) Hydrologic Basins.

Hydrologic Information

Was the project developed in accordance with a watershed plan? Yes ☐ No ☒

If yes, what is the name of the watershed plan name? Attach the plan, or a link to the plan, if feasible:

How many waterbodies would be impacted by the project activity? One (1)

If the project impacts more than one waterbody, attach the information below for each impacted waterbody; an excel spreadsheet or table may be used for projects with multiple impact sites.

Does the impacted waterbody have a name? Yes ☒ No ☐

Name of the impacted waterbody; if unnamed, name of the nearest downstream named waterbody:

Humboldt Bay

Basin plan hydrologic unit(s), and if included in a basin plan, the hydrologic area and hydrologic subarea, if known:

North Coastal Basin

Does the proposed project do any of the following?

Discharge to an Area of Special Biological Significance (ASBS), Marine Protected Area (MPA), or Outstanding National Resource Water (ONRW)?

Yes ☐ No ☒

Discharge to a waterbody listed as impaired on the Clean Water Act 303(d) list?

Yes ☒ No ☐

Discharge to a waterbody with a total maximum daily load (TMDL)?

Yes ☒ No ☐

Section Seven: Impact Quantities and Classification

List temporary and permanent **fill/excavation** impacts to waters of the state according the aquatic resource type in the tables below. Round acres to at least the hundredth place (0.01); round cubic yards and linear feet to the nearest whole number.

Fill/Excavation Temporary Impacts

Lake/Reservoir

Acres	0
Cubic Yards	0
Linear Feet	0

Stream Channel

Acres	0
Cubic Yards	0
Linear Feet	0

Ocean/Bay/Estuary

Acres	0.01 (actual 0.002)
Cubic Yards	0
Linear Feet	0

Vernal Pool

Acres	0
Cubic Yards	0
Linear Feet	0

Riparian Zone

Acres	0
Cubic Yards	0
Linear Feet	0

Wetland

Acres	0
Cubic Yards	0
Linear Feet	0

Classification System Name (if known):

Classification(s):

Fill/Excavation Permanent Impacts

Lake/Reservoir

Acres	0
Cubic Yards	0
Linear Feet	0

Stream Channel

Acres	0
Cubic Yards	0
Linear Feet	0

Ocean/Bay/Estuary

Acres	0.01 (actual 0.002)
Cubic Yards	0
Linear Feet	0

Vernal Pool

Acres	0
Cubic Yards	0
Linear Feet	0

Riparian Zone

Acres	0
Cubic Yards	0
Linear Feet	0

Wetland

Acres	0
Cubic Yards	0
Linear Feet	0

Classification System Name (if known):

Classification(s):

List temporary and permanent **dredge/extraction** impacts to waters of the state according the aquatic resource type in the tables below. Round acres to at least the hundredth place (0.01); round cubic yards and linear feet to the nearest whole number.

Dredge/Extraction Temporary Impacts

Lake/Reservoir

Acres	0
Cubic Yards	0
Linear Feet	0

Stream Channel

Acres	0
Cubic Yards	0
Linear Feet	0

Ocean/Bay/Estuary

Acres	0
Cubic Yards	0
Linear Feet	0

Vernal Pool

Acres	0
Cubic Yards	0
Linear Feet	0

Riparian Zone

Acres	0
Cubic Yards	0
Linear Feet	0

Wetland

Acres	0
Cubic Yards	0
Linear Feet	0

Classification System Name (if known):

Classification(s):

Dredge/Extraction Permanent Impacts

Lake/Reservoir

Acres	0
Cubic Yards	0
Linear Feet	0

Stream Channel

Acres	0
Cubic Yards	0
Linear Feet	0

Ocean/Bay/Estuary

Acres	0
Cubic Yards	0
Linear Feet	0

Vernal Pool

Acres	0
Cubic Yards	0
Linear Feet	0

Riparian Zone

Acres	0
Cubic Yards	0
Linear Feet	0

Wetland

Acres	0
Cubic Yards	0
Linear Feet	0

Classification System Name (if known):

Classification(s):

Additional Direct and Indirect Impact Information

Direct Impact Description: Describe the nature and extent of temporary and permanent impacts to waters of the state. Attach map(s) that clearly depict the anticipated area of direct impact.

Direct impacts are limited to the footprint of the replacement pilings and post project will not result in a net increase of fill material. Fill is limited to replacement of previously authorized pilings.

Indirect Impact Description: Indirect impacts could be those that are reasonably foreseeable outside of the direct impact area, or that occur later in time, that may have an adverse effect on water quality. Examples of indirect impacts could include fluctuating or disturbed water levels, climate change adaptation, and disturbed habitat connectivity corridors.

Describe potential impacts to water quality from the project discharge. For example, describe increased turbidity, settleable matter, or other pollutants that may affect beneficial uses associated with the proposed project area. Attach map(s) that clearly depict the anticipated area of indirect impact, as feasible.

Indirect impacts associated with the project include localized increase in turbidity due to sediment disturbance during piling removal and insertion. These impacts are minimized due to project timing (low tide); use of a turbidity curtain, to be installed and kept in place during project construction; and use of vibratory machinery to insert replacement pilings.

Cumulative Impacts: Provide a brief list/description, including estimated adverse impacts, of any projects implemented by the applicant within the last five years or planned for implementation by the applicant within the next five years that are in any way related to the proposed activity or that may impact the same receiving water body(ies) as the proposed activity. For purposes of this item, the water body extends to a named source or stream segment identified in the relevant Basin Plan. (CCR § 3856(h)(8).)

N/A

Depending on the quantity of new or replaced impervious surface area resulting from the project, a post-construction stormwater control plan and/or an operations and maintenance plan may be required to mitigate potential post-construction stormwater impacts. The plan may include drainage maps, detailed designs for Low Impact Development or other post-construction stormwater treatment and control measures, and design calculations. Contact Water Board staff for specific criteria.

Does the proposed project create or replace impervious surface? Yes ☒ No ☐

If yes, provide the total impervious surface area created or replaced in square feet:

55 square feet

Section Eight: Avoidance and Minimization Measures

Applicants must describe actions that have been taken (or will be taken) to avoid and minimize impacts to waters of the state (Procedures section IV.B.a.). Unless an exemption applies, an applicant must submit an alternatives analysis to demonstrate that the proposed project is the least environmentally damaging practicable alternative (LEDPA; Procedures section IV.A.1.h. and IV.B.). In cases where the Corps requires an alternatives analysis, the Water Boards will defer to the Corps' determination except in certain circumstances. For guidance on how to prepare an alternatives analysis or to determine if an exemption may apply, reference the [Procedures Implementation Guidance](https://www.waterboards.ca.gov/water_issues/programs/cwa401/docs/dredge_fill/revised_guidance.pdf) (https://www.waterboards.ca.gov/water_issues/programs/cwa401/docs/dredge_fill/revised_guidance.pdf).

Alternatives Analysis

Has an alternatives analysis been prepared? Yes ☐ No ☒

Does the U.S. Army Corps of Engineers require an alternatives analysis for this project?

Yes ☐ No ☒

If yes, submit alternatives analysis documentation consistent with that provided to the Corps.

If an alternatives analysis is not provided, indicate which Procedures section IV.A.1.g exemption applies and include any relevant supporting information, if needed (e.g., watershed plan, relevant permit number, etc.):

Procedure section II - Project covered under uncertified Corps general order and only contains waters of the U.S. Meets discharge impact limits.

Check which Procedures section IV.A.1.h alternatives analysis tier applies to the project:

Water Board staff will evaluate the project information to verify the appropriate alternatives analysis tier:

Tier 1 ☒

Tier 2 ☐

Tier 3 ☐

Avoidance and Minimization Measures

Describe the efforts to avoid and minimize direct impacts to waters of the state including actions/BMPs to be implemented during construction to avoid and minimize impacts including, but not limited to, preservation of habitats, erosion control measures, project scheduling, flow diversions, etc.

A description may include actions or methods proposed for erosion control, including winterization strategies to stabilize bare soils and revegetation proposals. A map may be included to indicate the

approximate location and area of soil, land, and vegetation disturbance, and proposed erosion and sediment control best management practices.

Reference the Procedures' state supplemental Dredge or Fill Guidelines, subpart H for potential actions to minimize adverse impacts to waters of the state.

Direct Impact Avoidance and Minimization:

Project timing has been scheduled to occur outside of the rainy season. Measures to reduce potential impacts include conducting all project work during low tide, use of a turbidity curtain during construction, and use of a vibratory hammer for removal and replacement of the pilings. Additionally, the removed pilings would be properly disposed of. They would be placed in sealed bins and hauled to an appropriate hazardous waste disposal site.

Indirect Impact Avoidance and Minimization:

Water Quality Monitoring, Diversions and Dewatering

Does the proposed project include any dewatering, work in standing or flowing water, and/or constructing diversions of water?

Yes ☒ No ☐

If yes, a water quality monitoring plan to monitor compliance with water quality objectives of the applicable water quality control plan may be required.

Describe the water diversion and dewatering plan, or indicate where information is located within an attachment (Procedures section IV.A.2.c):

If there are proposed discharges of water to surface waters, include receiving water body name, estimated volume, flow rates and proposed management measures; if there are discharges to detention ponds or upland treatment facilities (such as temporary settling basins, filters bags, storage and/or treatment containers, etc.) then include their location and indicate if detention pond or treatment facility is on-site or off-site; if there are stream-channel diversions, include estimated flow rates, diversion system capacity, location, including upstream diversion points and downstream discharge point, and a diversion plan that provides measures to prevent erosion and turbidity, maintain fish passage, etc.

Standing water present, no diversion or dewatering proposed.

Section Nine: Ecological Restoration and Enhancement Projects (EREPs)

Is this application for a project that meets the definition of an Ecological Restoration and Enhancement Project (Procedures section V)? Yes ☐ No ☒

Applications for Ecological Restoration and Enhancement Projects require an assessment plan with the following information (Procedures section IV.A.2.e):

- ☐ Project objectives
- ☐ Description of performance standards used to evaluate attainment of objectives
- ☐ Protocols for condition assessment
- ☐ The timeframe and responsible party for performing condition assessment
- ☐ Assessment schedule
- ☐ A draft restoration plan for restoring temporarily impacted areas to pre-project conditions, if a draft restoration plan is not provided as part of a binding stream or wetland enhancement or restoration agreement

Section Ten: Restoration of Temporary Impacts

If temporary impacts are proposed, applicants are required to submit a draft restoration plan for a complete application. Temporary impact restoration includes activities that are undertaken to restore the temporarily impacted area to pre-project conditions. A draft restoration plan should outline design, implementation, assessment, and maintenance activities. When active restoration is proposed, components of a draft restoration plan should include project objectives, plans for grading impacted areas to pre-project contours, a planting palette with plant species native to the area, seed collection locations, an invasive species management plan. Maintenance and assessment components of a draft restoration plan often includes performance measures, performance standard descriptions, attainment objectives, and timing proposed to reach attainment objectives. When passive restoration is proposed, a draft restoration plan should include an explanation of how passive restoration will restore the area to pre-project conditions, assessment components, and an estimated date for expected restoration.

If the draft restoration plan is part of a larger document, identify the specific section and page number where the requested information may be found in the attached document in the text box provided. If restoration of temporary impacts will occur through natural ecological processes, provide that information in the text box below.

Restoration Plan

Is a restoration plan attached? Yes ☐ No ☒

Describe the restoration plan and/or indicate where information is located within an attachment:

No restoration proposed. All impacts are temporary and there will be no net increase in fill material from replacement of previously authorized pilings.

Section Eleven: Compensatory Mitigation

Compensatory mitigation means the restoration, establishment, enhancement, and/or in certain circumstances preservation of aquatic resources for the purposes of offsetting unavoidable adverse impacts which remain after all appropriate and practicable avoidance and minimization has been achieved (Procedures Appendix A, Subpart J § 230.92). **When compensatory mitigation is required, a draft compensatory mitigation plan is required for a complete application.**

Proposed Compensatory Mitigation

Complete this table for each aquatic resource type proposed as compensatory mitigation; if more than two aquatic resource types will be provided, attach additional tables to your application.

Proposed Compensatory Mitigation Type. Choose one of the following:

☐ Mitigation Bank ☐ In-Lieu Fee Program ☐ Permittee Responsible

Mitigation Aquatic Resource Type. Choose one of the following aquatic resource type(s):

☐ Lake/Reservoir ☐ Ocean/Bay/Estuary ☐ Riparian Zone
☐ Stream Channel ☐ Vernal Pool ☐ Wetlands

Mitigation Method and Quantity for the Selected Mitigation and Resource Type:

Unit	Establish ment	Re-estab lishment	Rehabilita tion	Enhance ment	Preservati on	Unknown
Acres						
Linear Feet						

Proposed Compensatory Mitigation

Complete this table for each aquatic resource type to be provided as compensatory mitigation; if more than two aquatic resource types will be provided attach additional tables to your application.

Proposed Compensatory Mitigation Type. Choose one of the following:

☐ Mitigation Bank ☐ In-Lieu Fee Program ☐ Permittee Responsible

Mitigation Aquatic Resource Type. Choose one of the following aquatic resource type(s):

☐ Lake/Reservoir ☐ Ocean/Bay/Estuary ☐ Riparian Zone
☐ Stream Channel ☐ Vernal Pool ☐ Wetlands

Mitigation Method and Quantity for the Selected Mitigation and Resource Type:

Unit	Establishment	Re-establishment	Rehabilitation	Enhancement	Preservation	Unknown
Acres						
Linear Feet						

Draft Compensatory Mitigation Plan

Using a watershed approach, a draft compensatory mitigation plan should be provided and be consistent with the requirements listed in Procedures Appendix A, Subpart J, and contain the items listed in section IV.A.2.b of the Procedures.

For mitigation bank or in-lieu fee program proposals, only the first three items below are required (i, ii, and iii). For permittee responsible mitigation, items one through seven are required. Item eight (climate change assessment) is required on a case-by-case basis; you may contact Water Board staff to determine if a climate change assessment will be required for your proposed mitigation project.

Indicate the attached document name and page number where each draft compensatory mitigation plan item may be found:

i. A watershed profile for the project evaluation area for both the project activity and the proposed compensatory mitigation location (section IV.A.2.b.i).

ii. An assessment of the overall condition of aquatic resources proposed to be impacted by the project and their likely stressors, using an assessment method approved by the Water Boards (section IV.A.2.b.ii).

iii. A description of how the project impacts and compensatory mitigation would not cause a net loss of the overall abundance, diversity, and condition of aquatic resources, based on the watershed profile. If the compensatory mitigation is located in the same watershed as the project, no net loss will be determined on a watershed basis. If the compensatory mitigation and project impacts are located in multiple watersheds, no net loss will be determined considering all affected watershed collectively. The level of detail in the plan shall be sufficient to accurately evaluate whether compensatory mitigation offsets the adverse impacts attributed to the project (section IV.A.2.b.iii).

iv. Preliminary information about ecological performance standards, monitoring, and long-term protection and management, as described in the state supplemental dredge or fill guidelines (section IV.A.2.b.iv).

v. A timetable for implementing the compensatory mitigation plan (section IV.A.2.b.v)
vi. If the compensatory mitigation plan includes buffers, design criteria and monitoring requirements for those buffers (section IV.A.2.b.vi).
vii. If compensatory mitigation involves restoration or establishment as the form of mitigation, applicants shall notify, as applicable, state and federal land management agencies, airport land use commission, fore control districts, flood control districts, local mosquito-vector control district(s), and any other interested local entities prior to initial site selection. These entities should be notified as early as possible during the initial compensatory mitigation project design stage (section IV.A.2.b.vii). (Applicants are not required to submit documentation for this requirement.)
viii. If applicable, an assessment of reasonably foreseeable impacts to the compensatory mitigation associated with climate change, and any measures to avoid or minimize those potential impacts (section IV.A.2.b.viii).

Compensatory Mitigation Contact Information
Name of Mitigation Bank or In-Lieu Fee Program:
Service Area:
Contact Name:
Contact Phone:
Contact Email:
Mitigation Location County:
Mitigation Site Latitude:
Mitigation Site Longitude:

Section Twelve: Legally Responsible Person Attestation and Optional Duly Authorized Representative Assignment

The attestation below must be signed by the Legally Responsible Person (LRP).

1) LRP eligibility is as follows:

- a. For a corporation: by a responsible corporate officer. For the purpose of this section, a responsible corporate officer means:
 - i. A president, secretary, treasurer, or vice-president of the corporation in charge of a principal business function; or
 - ii. The manager of one or more manufacturing, production, or operating facilities, provided, the manager is authorized to make management decisions which govern the operation of the regulated facility including having the explicit or implicit duty of making major capital investment recommendations, and initiating and directing other comprehensive measures to assure long term environmental compliance with environmental laws and regulations; the manager can ensure that the necessary systems are established or actions taken to gather complete and accurate information for permit application requirements; and where authority to sign documents has been assigned or delegated to the manager in accordance with corporate procedures.
- b. For a partnership or sole proprietorship: by a general partner or the proprietor, respectively.
- c. For a municipality, state, federal, or other public agency: by either a principal executive officer or ranking elected official. This includes the chief executive officer of the agency or the senior executive officer having responsibility for the overall operations of a principal geographic unit of the agency (e.g., Regional Administrators of the U.S. EPA).

Legally Responsible Person Attestation

I certify under penalty of law that this application and all attachments were prepared under my direction or supervision in accordance with a process designed to assure that qualified personnel properly gather and evaluate the information submitted. The information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.
--

2) DAR assignment is as follows (optional):

- a. The authorization shall specify that a person designated as a DAR has responsibility for the overall operation of the regulated facility or activity, such as a person that is a manager, operator, superintendent, or another position of equivalent responsibility, or is an individual who has overall responsibility for environmental matters for the company.

Optional Duly Authorized Representative (DAR) Assignment

I hereby authorize Jordan Blough (Project Manager - LACO Associates) to act on my behalf as the DAR in the processing of this application, and to furnish upon request, supplemental information in support of this permit application.

<div></div>

Section Thirteen: Fee Information

Fee amounts are determined according to the [\(https://govt.westlaw.com/calregs/Document/IEEE14760D45A11DEA95CA4428EC25FA0?viewType=FullText&originationContext=documenttoc&transitionType=CategoryPageItem&contextData=\(sc.Default\)\)](https://govt.westlaw.com/calregs/Document/IEEE14760D45A11DEA95CA4428EC25FA0?viewType=FullText&originationContext=documenttoc&transitionType=CategoryPageItem&contextData=(sc.Default)) and are subject to change.

Submit the Application Fee based on the activity type and according to the appropriate fee category. Application fees are required to determine an application complete. Additional Project and/or Annual Fees may be imposed upon application review.

An [excel fee calculator](https://www.waterboards.ca.gov/resources/fees/water_quality/docs/dredgefillcalculator.xlsm)

(https://www.waterboards.ca.gov/resources/fees/water_quality/docs/dredgefillcalculator.xlsm) may be used to estimate fees for budgeting purposes only.

Fees may be paid online or by check. Information on how to make an online payment is available at the State Water Board's [webpage](https://www.waterboards.ca.gov/make_a_payment/) (https://www.waterboards.ca.gov/make_a_payment/). If fees are paid online prior to application submission, attach payment receipt to this application. Make checks, money orders, and cashier checks payable to the State Water Resources Control Board. Mailed payments should be attached to the application and remitted to the appropriate Water Board. See the [Staff Directory](https://www.waterboards.ca.gov/water_issues/programs/cwa401/docs/wqc_staffdir.pdf)

(https://www.waterboards.ca.gov/water_issues/programs/cwa401/docs/wqc_staffdir.pdf) for a list of State and Regional Water Board addresses.

Table for Internal Use Only	
Date Received	Reg Measure ID
WDID No.	ECM Handle
Check No.	Check Amount
Place ID	

Jordan Blough

From: Riley Topolewski <rtopolewski@ci.eureka.ca.gov>
Sent: Tuesday, August 10, 2021 9:23 AM
To: Jordan Blough; Kevin Doble
Cc: Miles Slattery
Subject: FW: 401 Certification application for the Eureka Fisherman's Terminal Piling Replacement Project (WDID No. 1B21151WNHU)

Categories: Red Category

FYI...

Riley

From: Stevens, Brandon D.@Waterboards <Brandon.Stevens@Waterboards.ca.gov>
Sent: Monday, August 9, 2021 9:22 PM
To: Riley Topolewski <rtopolewski@ci.eureka.ca.gov>
Subject: 401 Certification application for the Eureka Fisherman's Terminal Piling Replacement Project (WDID No. 1B21151WNHU)

NOTICE: This email came from outside of the City's email system. Please exercise caution. Do not click links or open attachments unless you have *verbally* confirmed with the sender that the message actually came from them and that the content is safe. Contact the [Helpdesk](#) if you are unsure!

Hello Riley,

We have reviewed the 401 certification application for the Eureka Fisherman's Terminal Piling Replacement Project and find it is complete per the California Code of Regulations, Title 23, section 3856. The City of Eureka submitted the application on 7/6/2021, and intends to cover the project under the Army Corps NWP 3.

The Regional Water Board requires additional information before we may be able to move forward with drafting the 401 water quality certification:

Mitigation for permanent impacts

The application did not include a mitigation plan for the 0.01 acres of permanent impacts as a result of project construction. Please provide an adequate plan that meets our no-net-loss policy. This will be required prior to project certification.

Thanks,
Brandon Stevens
Environmental Scientist
Nonpoint Source/401 Certification Unit
North Coast Regional Water Board
5550 Skylane Boulevard, Suite A
Santa Rosa, CA 95403
brandon.stevens@waterboards.ca.gov
Office: 707-576-2377

The governor of California has issued a statewide shelter in place order due to the COVID-19 emergency. The Water Boards are continuing day-to-day work protecting public health, safety, and the environment. However, most staff are working remotely and we continue to check email regularly. Thank you and stay healthy and safe.

Please note that email correspondence with the City of Eureka, along with attachments, may be subject to the California Public Records Act, and therefore may be subject to disclosure unless otherwise exempt. This email and any files transmitted with it are confidential and intended solely for the use of the individual or entity to whom they are addressed. If you have received this email in error please notify the sender. This message contains confidential information and is intended only for the individual named. If you are not the named addressee you should not disseminate, distribute or copy this e-mail. Please notify the sender immediately by e-mail if you have received this e-mail by mistake and delete this e-mail from your system. If you are not the intended recipient you are notified that disclosing, copying, distributing or taking any action in reliance on the contents of this information is strictly prohibited.

CALIFORNIA COASTAL COMMISSION

North Coast District Office
1385 Eighth Street, Suite 130
Arcata, CA 95521
(707) 826-8950

**COASTAL DEVELOPMENT PERMIT APPLICATION****INSTRUCTIONS**

Submit an electronic copy of application with all appendices and all required attachments to the general email address for the North Coast District Office, NorthCoast@coastal.ca.gov. In addition, submit a hard copy of the application form, appendices, and attachments, with all required signatures, **the self-addressed stamped envelopes required for noticing**, and permit fee to the North Coast District Office, 1385 Eighth Street, Suite 130, Arcata, CA 95521. For more information, contact the District Office (see the Commission's [Contact Page](#)). **The application will not be processed until the fee is received.**

Please answer all questions. If a question is not applicable to your project, indicate "Not Applicable." **Incomplete applications will not be accepted for filing.** All exhibits must be legible.

CHECKLIST

The checklist is provided for the convenience of applicants in gathering necessary application materials. It is not a complete statement of filing requirements. See Section IV for the full list of Required Attachments and see Appendices A-E.

- ☒ Proof of applicant's interest in the property.
- ☒ Assessor parcel map(s) showing the proposed development site and all adjacent properties within 100 feet of the property boundary.
- ☒ Vicinity map.
- ☒ Two sets of full-size project plans, including site plan(s) and other applicable plans; and one set of reduced (8 1/2" x 11") project plans.
- ☒ Environmental documents for the project (e.g. Notice of Exemption, Negative Declaration, Draft or Final EIR or EIS). Include all comments and responses to date.
- ☒ Technical reports (e.g. wetlands delineation, geology/ soils report, biological survey).

COASTAL DEVELOPMENT PERMIT APPLICATION

CHECKLIST (cont.)

- ☒ Verification of all other permits, permissions or approvals applied for or granted by other public agencies.
- ☒ Declaration of Campaign Contributions. (Appendix A)
- ☒ Local approval of the project with local staff signature. (Appendix B)
- ☒ Stamped envelopes (no postage metering) addressed to the applicant, the applicant's agent, neighboring property owners and occupants, known interested persons, and government agencies, with a complete list of all names and addresses. (Appendix C)
- ☒ Declaration that the Notice of Pending Permit is posted as required. (Appendix D)
- ☒ Filing fee. (Appendix E)
- ☒ Signatures of all applicants and agents as required by Section VII, Section VIII, Appendix A, and Appendix D.

COASTAL DEVELOPMENT PERMIT APPLICATION

SECTION I. APPLICANT

1. Contact information for all applicants. If an applicant is a business entity, attach proof of the ability to do business in California (e.g., registration with the Secretary of State). Attach additional pages as needed.

Name City of Eureka (Riley Topolewski - Senior Planner)
Street Address 531 K Street
City Eureka
State California Zip Code 95501
Email rtopolewski@ci.eureka.ca.gov
Daytime Phone Number, including Area Code (707) 441-4160

Note: All applicants for the development must complete Appendix A, the declaration of campaign contributions.

2. Contact information for all agents representing one or more applicants. Attach additional pages as needed. Please include all representatives who will communicate, for compensation, on behalf of the applicant or the applicant's business partners. It is the applicant's responsibility to update this list, as appropriate, including after the application is accepted for filing. Failure to provide this information prior to communication with staff, Commissioners, or the Commission or may result in denial of the permit or criminal penalties.

Name LACO Associates (Jordan Blough, Project Manager)
Street Address 21 W. 4th Street
City Eureka
State California Zip Code 95501
Email bloughj@lacoassociates.com
Daytime Phone Number, including Area Code (707) 443-5054

FOR OFFICE USE ONLY

Application Number _____
Received _____
Filed _____
Fee _____
Date Paid _____

SECTION II. PROPOSED DEVELOPMENT

1. Project Location. If there is no street address, state the nearest cross streets and other description such as GPS coordinates.

Number 4

Street C Street (foot of)

Zip Code 95501

City Eureka

County Humboldt

Assessor Parcel Number(s) (APNs)

APNs 001-011-013 & -015; Latitude/Longitude: 40.8055, -124.1708

2. Describe the proposed development in detail. Include secondary improvements such as grading, septic tanks, water wells, roads, driveways, outbuildings, fences, etc. Attach additional pages as necessary.

The project's purpose is to repair the loading and unloading dock at the Fisherman's Terminal, located at the terminus of C Street in Eureka by replacing failed and failing fender pilings.

The proposed project includes the removal and replacement of 40 existing 14-inch diameter wooden pilings that have severely degraded with new, plastic composite pilings of the same size at the same location as the existing wooden pilings. The use of plastic composite pilings will limit

damage to vessels which contact the pilings while also providing a solution with a longer lifespan than the existing pilings and would not require any chemical treatments. The connections to the existing dock would also be repaired or replaced to ensure a strong connection between the pier and the pilings. Existing pilings will be removed by using divers to excavate around each pile to expose enough of the pile to secure rigging to the piles, which will then be removed using an excavator

located on the adjacent dock. Removed pilings will be placed in sealed bins and hauled to an appropriate hazardous waste disposal site such as the Humboldt Waste Management

Authority's Hazardous Waste Facility in Eureka. New fender piles will be stored and staged on-site before being placed on the dock for installation one at a time. New fender piles will

be driven into the existing pier waterfront face via vibratory hammer and will be connected

via an interface to the pier. All pilings are nonstructural and free-standing. The pilings will be vibrated 15-20 feet into the substrate using a vibratory hammer. The final elevations will be consistent with the original design elevation of the pilings. Each piling is estimated to take approximately 3 minute to vibrate into place. Once the pilings are in place, non-structural plastic wales will be installed across the pilings to provide further protection to vessels using the facility.

Construction is anticipated to occur between May and June 2022 and would occur over a period of three weeks. All project work will be conducted at low tide. A turbidity curtain will be installed and kept in place during construction. No waste is anticipated to enter the bay during or after construction.

a. If multi-family residential, indicate:

Existing units _____
Proposed new units _____
Total units on completion _____
Total bedrooms on completion _____

Type of ownership proposed

☐ Rental ☐ Condominium ☐ Stock Co-op ☐ Timeshare ☐ Other

b. If land division or lot line adjustment, indicate:

Existing lots _____
Proposed new lots _____
Total lots on completion _____
Size of lots created (indicate net or gross acreage)
Existing _____ Proposed _____

3. Estimated cost of development (not including cost of land): \$ ~~475,000~~ _____

4. Maximum height of structure:

- a. above existing (natural) grade _____ feet
- b. above finished grade _____ feet
- c. as measured from centerline of frontage road _____ feet

5. Total number of floors in structure, including subterranean floors, lofts, and mezzanines _____

6. Gross floor area

- a. excluding parking _____ sq. ft.
- b. including covered parking and accessory buildings _____ sq. ft.

7. Development area

a. Building lot coverage

Existing _____ Proposed _____ Total _____ sq.ft.

b. Paved areas

Existing _____ Proposed _____ Total _____ sq.ft.

c. Landscaped areas

Existing _____ Proposed _____ Total _____ sq. ft.

d. Unimproved areas

Existing _____ Proposed _____ Total _____ sq. ft.

e. Totals

Existing 55 sq. ft. Proposed 55 sq. ft. Grand Total 55 sq. ft.

**There will be no net increase in developed area. The 40 wooden pilings (55 sq. ft. total) will be replaced with plastic composite pilings of the same size in the same location.

8. Is any grading proposed? ☐ YES ☒ NO. If yes, indicate:

a. Cut _____ cubic yards

Maximum height of slope _____ feet

b. Fill _____ cubic yards

Maximum height of slope _____ feet

c. Amount of import _____ cubic yards

Location of borrow site _____

d. Amount of export _____ cubic yards

Location of disposal site _____

Note: Grading, drainage, and erosion control plans must be attached, if applicable. In certain areas, an engineering geology report must be included. See Section IV, No. 11.

9. Parking & Utilities

1. Number of Parking Spaces

Existing

Regular _____ Compact _____ ADA _____ Tandem _____

Existing Total _____

To be Added

Regular _____ Compact _____ ADA _____ Tandem _____

To be Removed

Regular _____ Compact _____ ADA _____ Tandem _____

After Project Total _____

b. Utility Extensions Needed (check yes or no for each type)

Water ☐ YES ☒ NO

Gas ☐ YES ☒ NO

Sewer ☐ YES ☒ NO

Electric ☐ YES ☒ NO

Telephone, Cable, Other ☐ YES ☒ NO

Will any extensions be installed above ground? ☐ YES ☒ NO

10. Does the project include removal of trees or vegetation? ☐ YES ☒ NO

If yes, indicate:

a. Number, type and size of trees _____

b. Type and area of other vegetation _____

SECTION III. ADDITIONAL INFORMATION

The relationship of the development to the applicable items below must be explained fully. Attach additional pages if necessary.

1. Present use of property.

a. Are there existing structures on the property? ☒ YES ☐ NO

If yes, describe:

Existing development includes the pier and 40 14-inch diameter wooden pilings, spaced at approximately 10-foot intervals, affixed to the dock with 1-inch diameter galvanized wound collar guides and 12"x12" wooden blocking. Since installation over a decade ago, the existing wooden pilings have severely degraded, with 5 pilings entirely missing. The other 35 pilings are severely deteriorated. About 28 of the pilings have rotted to the point they no longer appear anchored in the subsurface. The deterioration of these existing pilings has caused serious complications for users, including safety concerns, damage to vessels, and lost productivity.

b. Will any existing structures be demolished? ☐ YES ☒ NO

If yes, describe which structures and methods/ location of disposal:

c. Will any existing structures be removed? ☒ YES ☐ NO

If yes, describe which structures and relocation site:

Existing pilings will be removed by using divers to excavate around each pile to
expose enough of the pile to secure rigging to the piles, which will then be
removed using an excavator located on the adjacent dock.

2. Agreements. Is the proposed development governed by a Development Agreement? ☐ YES ☒ NO

If yes, describe: _____

3. Previous Permits. Has any application for development on this site including any subdivision been submitted previously to the California Coastal Zone Conservation Commission or the Coastal Commission? ☐ YES ☒ NO

If yes, state all previous application number(s): _____

4. Access.

a. Is the development between the first public road and the sea (including lagoons, bays, and other bodies of water connected to the sea)? ☒ YES ☐ NO

If yes, is public access to the shoreline and along the coast currently available on the site or near the site? ☒ YES ☐ NO

If yes, describe the location and nature of the access (e.g. pedestrian, bike paths, trails) with distances from the project site:

The existing pier allows fishermen to moor their boats and load and unload. It is
also accessible to the general public and connects to the pedestrian path along
the waterfront.

b. Will the project have any effect on public access to and along the shoreline, either directly or indirectly (e.g., blocking parking used for access to the beach)?
☒ YES ☐ NO

If yes, describe the effect on access:

Access would only be temporarily impacted, as necessary, for safety reasons
when equipment and trucks are at the scene. Access will be temporarily blocked
to the staging and work areas to ensure public safety.

5. Waters.

- a. Does the development involve diking, filling, draining, dredging or placing structures in open coastal waters, wetlands, estuaries, or lakes?

Diking ☐ YES ☒ NO

Filling ☐ YES ☒ NO

Amount in cubic yards _____

Dredging ☐ YES ☒ NO

Amount in cubic yards _____

Placement of Structures ☒ YES ☐ NO -(placement of plastic composite pilings in the same location of the existing wooden pilings to be removed)

- b. Location of dredged material disposal site _____

- c. Is a U.S. Army Corps of Engineers permit required? ☒ YES ☐ NO

6. Jurisdiction.

Will the development extend onto or adjoin any beach, tidelands, submerged lands or public trust lands? ☒ YES ☐ NO

For projects located or partially located on State lands, additional information may be required. See Section IV.10.

7. Recreation.

- a. Will the development protect existing lower-cost visitor and recreational facilities?

☒ YES ☐ NO

- b. Will the development provide public or private recreational opportunities?

☒ YES ☐ NO

If yes, describe the recreational opportunities provided:

The repairs will allow for continued, safe use of the dock by boaters and fishermen,
while allowing for continued public walking access along the pier and waterfront.

8. Agricultural Use. Will the proposed development convert land currently or previously used for agriculture to another use? ☐ YES ☒ NO
- a. If yes, is the land prime land? ☐ YES ☒ NO
- b. How many acres will be converted? _____
9. Is the proposed development in or near:
- a. Sensitive habitat areas ☒ YES ☐ NO If yes, a biological survey may be required.
- b. Areas containing state or federally listed rare, threatened, or endangered species, or candidate species ☒ YES ☒ NO If yes, a biological survey may be required.
- c. 100-year floodplain ☐ YES ☒ NO. If yes, hydrologic mapping may be required.
- d. Park or recreation area ☐ YES ☒ NO
10. Will the proposed development be visible from:
- a. State Highway 1 or other scenic route ☒ YES ☒ NO
- b. Park, beach, or recreation area ☒ YES ☐ NO
- c. Harbor area ☒ YES ☐ NO
11. If the site contains any of the following, attach a description of the resource and any proposed mitigation.
- a. Historic resources ☐ YES ☒ NO
- b. Archaeological resources ☐ YES ☒ NO
- c. Paleontological resources ☐ YES ☒ NO
12. Where a stream or spring is to be diverted, estimate: N/A
- a. Streamflow or spring yield (gpm) _____
- b. Existing and any changed yield of well(s) (gpm) _____
- c. If water source is on adjacent property, attach the Department of Water Resources approval and property owner's approval.

SECTION IV. REQUIRED ATTACHMENTS

The following items must be submitted with this form as part of the application.

1. Proof of the applicant's legal interest in the property. A copy of any of the following will be acceptable: current tax bill, recorded deed, lease, easement, or current policy of title insurance. Preliminary title reports will not be accepted for this purpose. Documentation reflecting intent to purchase such as a signed Offer to Purchase along with a receipt of deposit or signed final escrow document is also acceptable, but in such a case, issuance of the permit may be contingent on submission of evidence satisfactory to the Executive Director that the sale has been completed.

The identity of all persons or entities that have an ownership interest in the property superior to that of the applicant must be provided. Provide proof that all those with ownership interests have been notified in writing of the application and have been invited to join as co-applicants.

2. Assessor parcel map(s) from the County showing the applicant's property and all other properties within 100 feet (excluding roads) of the property lines of the project site.
3. Copies of required local approvals for the proposed project, including zoning variances, use permits, etc., as noted on Local Agency Review Form, Appendix B. Appendix B must be completed and signed by the local government with jurisdiction over the project site. The application will not be accepted without a completed Appendix B.
4. Stamped envelopes addressed to all applicants and agents, all property owners and occupants of property situated within 100 feet of the property lines of the project site (excluding roads), along with a list of all owners and occupants with addresses. The envelopes must be plain (i.e., no return address), and regular business size (9 1/2" x 4 1/8"). Include first class postage on each one. Metered postage is not acceptable. Use Appendix C for the listing of names and addresses.
5. Stamped, addressed envelopes (no metered postage) and a list of names and addresses, and if available, e-mail addresses of all other persons (including other government agencies) known to the applicant to be interested in the proposed development. Use Appendix C for the listing of names and addresses.
6. A vicinity or location map with the project site clearly marked.
7. Two full-size copies of project plans and one set of plans in 8 1/2" by 11" format. Plans must be drawn to scale, including (as applicable): site plans, including any trees to be removed, floor plans, building elevations, grading, drainage, and erosion control plans, landscape plans, and septic system plans.

8. Where septic systems are proposed, evidence of County approval or Regional Water Quality Control Board approval. Where water wells are proposed, evidence of County review and approval.
9. All available environmental review documents for the project, such as a CEQA Notice of Exemption, mitigated negative declaration, or EIR (Environmental Impact Report), NEPA review documents, or others. Include all comments and responses to comments to date.
10. Verification of all other permits, permissions or approvals applied for or granted by other agencies, such as the California Department of Fish and Wildlife, U.S. Fish & Wildlife, U.S. Army Corps of Engineers, U.S. Coast Guard, or the State Lands Commission.

Note: For projects such as seawalls located on or near state tidelands or public trust lands, the Coastal Commission must have a written determination from the State Lands Commission whether the project would encroach onto such lands and if so, whether the State Lands Commission has approved such encroachment.

11. For development on a bluff face, bluff top, or in any area of high geologic risk, a comprehensive, site-specific geology and soils report, including maps, prepared by a qualified specialist.

SECTION V. ADDITIONAL MATERIAL MAY BE REQUIRED

Additional material may be required prior to issuance of a coastal development permit. For example, where offers of access or open space dedication are required, preliminary title reports, land surveys, legal descriptions, subordination agreements, and other outside agreements will be required prior to issuance of the permit.

SECTION VI. COMMUNICATION WITH COMMISSIONERS

Decisions of the Coastal Commission are made on the basis of information in the public record available to all commissioners and the public. Permit applicants, interested persons, and their representatives may contact individual commissioners to discuss permit matters outside the public hearing (an "ex parte" communication). If a commissioner or alternate accepts an ex parte communication, he or she must provide a complete description of the communication either in writing prior to the hearing or orally at the public hearing.

All written material sent to a commissioner, by any method, must also be sent to the Executive Director, 45 Fremont St., Suite 2000, San Francisco, California, 94105, as well as to the appropriate district office, for inclusion in the public record.

SECTION VII. CERTIFICATIONS

1. I hereby certify that I, or my authorized representative, have completed and posted or will post the **Notice of Pending Permit** stock card in a conspicuous place on the property within three days of submitting the application to the Commission office.
2. I hereby certify that I have read this completed application and that, to the best of my knowledge, the information in this application and all attached appendices and exhibits is true, complete, and accurate. I understand that the failure to provide any requested information or any misstatements submitted in support of the application shall be grounds for either refusing to accept this application, for denying the permit, for suspending or revoking a permit issued on the basis of such misrepresentations, or for seeking of such further relief as may seem proper to the Commission.
3. I hereby authorize representatives of the California Coastal Commission to conduct site inspections on my property. Unless arranged otherwise, these site inspections will take place between the hours of 8:00 A.M. and 5:00 P.M.

Signature of Applicant or Authorized Agent

AGENT SIGNATURES MUST BE SUPPORTED BY APPLICANT AUTHORIZATION

SECTION VIII. AUTHORIZATION OF AGENT

I hereby authorize Jordan Blough (LACO Associates) to act as my representative and to bind me in all matters concerning this application.

Signature of Applicant(s) **Only the applicant(s) may authorize an agent.**

APPENDIX A

DECLARATION OF CAMPAIGN CONTRIBUTIONS

Government Code Section 84308 prohibits any Commissioner from voting on a project if he or she has received campaign contributions in excess of \$250 within the past year from project proponents or opponents, their agents, employees or family, or any person with a financial interest in the project. In the event of such contributions, a Commissioner must disqualify himself or herself from voting on the project.

Each applicant must declare below whether any such contributions have been made to any currently serving Commissioners or Alternates.

CHECK ONE

☐ The applicants, their agents, employees, family or any person with a financial interest in the project **have not contributed** over \$250 to any Commissioner(s) or Alternate(s) within the past year.

☐ The applicants, their agents, employees, family, or any person with a financial interest in the project **have contributed** over \$250 to the Commissioner(s) or Alternate(s) listed below within the past year.

Commissioner or Alternate _____

Commissioner or Alternate _____

Commissioner or Alternate _____

Signature required

Name of Applicant or Authorized Agent _____

Signature _____

Date _____

APPENDIX B

LOCAL AGENCY REVIEW

SECTION 1 (TO BE COMPLETED BY APPLICANT OR AGENT)

Applicant City of Eureka
Project Description Eureka Fisherman's Terminal Piling Replacement Project
Location 4 C Street (Terminus of C Street)
Assessor Parcel Number 001-011-013 and 001-011-015

SECTION 2 (TO BE COMPLETED BY LOCAL PLANNING OR BUILDING INSPECTION DEPARTMENT)

Zoning Designation _____ dwelling units/acre
General or Community Plan Designation _____ dwelling units/acre
Local Coastal Program Amendment ☐ Required ☐ Submitted to Coastal Commission

LOCAL DISCRETIONARY APPROVALS

☒ Proposed development meets all zoning requirements. No further permits required other than building permits.

☐ Proposed development requires local discretionary approvals. **CHECK ALL APPLICABLE requirements below. Attach a copy of each approval.**

Design/Architectural
☐ Required ☐ Applicant Submitted ☐ Review Complete

Variance for (describe) _____
☐ Required ☐ Applicant Submitted ☐ Review Complete

Zoning change (describe) _____
☐ Required ☐ Applicant Submitted ☐ Review Complete

Tentative Subdivision/Parcel Map No. _____
☐ Required ☐ Applicant Submitted ☐ Review Complete

Grading/Land Dev. Permit No. _____

☐ Required ☐ Applicant Submitted ☐ Review Complete

Planned Residential/ Commercial Development Approval

☐ Required ☐ Applicant Submitted ☐ Review Complete

Site Plan Review

☐ Required ☐ Applicant Submitted ☐ Review Complete

Condominium Conversion Permit No. _____

☐ Required ☐ Applicant Submitted ☐ Review Complete

Conditional, Special, or Major Use Permit No. _____

☐ Required ☐ Applicant Submitted ☐ Review Complete

Other (describe) _____

☐ Required ☐ Applicant Submitted ☐ Review Complete

CEQA COMPLIANCE

Type (Exempt, Categorically Exempt, Mitigated Negative Declaration, EIR, etc.)

Categorically Exempt (§15301; Class 1-Existing Facilities)

Statutory or Guideline Section Relied On _____

State Clearinghouse or other Document No. _____

Action or Adoption Date _____

CERTIFICATION

Prepared for the City/County of Eureka

by (print name) LACO Associates (Megan Marruffo)

Title Senior Planner

Signature _____

Date 4/23/2021

APPENDIX C

MAILING LIST

List the names and addresses for all 1) Applicants, 2) Agents, 3) Property owners and property occupants within 100 feet of the proposed development, excluding roads, 4) Interested persons (e.g. neighborhood groups), and 5) Other government agencies with jurisdiction or interest in the project. Add e-mail addresses as available.

If necessary, attach additional pages using the format below.

Name City of Eureka
Title Riley Topolewski - Senior Planner
Street Address 531 K Street
City Eureka
State, Zip Code California, 95501
Email address rtopolewski@ci.eureka.ca.gov

Keenan Investment Company
15821 Ventura Blvd. #490
Encino, CA 91436-4778

Name LACO Associates
Title Jordan Blough - Project Manager
Street Address 21 W. 4th Street
City Eureka
State, Zip Code California, 95501
Email address bloughj@lacoassociates.com

Keenan Investment Company
49 2nd Street
Eureka, CA 95501

Travis Schneider & Stephanie Bode
101 2nd Street
Eureka, CA 95501

Travis Schneider & Stephanie Bode
P.O. Box 6036
Eureka, CA 95502

Name Coast Seafoods Company
Title _____
Street Address 25 Waterfront Drive
City Eureka
State, Zip Code California, 95501
Email address _____

Name Coast Seafoods Company
Title _____
Street Address 16797 SE 130th Ave.
City Clackamas
State, Zip Code Oregon, 97015
Email address _____

Name Keenan Investment Company
Title _____
Street Address 1 2nd Street
City Eureka
State, Zip Code California, 95501
Email address _____

APPENDIX D

POSTING ON SITE

Prior to or at the time the application is submitted for filing, the applicant or agent must post, at a conspicuous place as close as possible to the site of the proposed development and in a manner easily read by the public, notice that an application for the proposed development has been submitted to the Commission. Such notice shall contain a general description of the nature of the proposed development. Use the NOTICE OF PENDING PERMIT form (last page) and print on yellow stock card. Fill in the application number on the Notice as soon as possible once staff communicates the application number to you. The notice must remain posted until the application is acted on by the Commission. If the applicant fails to post the completed notice form or fails to sign the Declaration of Posting, the Executive Director of the Commission shall refuse to file the application. (See Cal. Code Regs., Title 14, Section 13054(d).) Your application will not be processed without a signed and dated Declaration. **Submit the Declaration to the District Office along with the completed application.**

DECLARATION OF POSTING

I hereby certify on _____ (date of posting), I or my authorized representative posted the Notice of Pending Permit for the application to obtain a coastal development permit for the development of replacing 40 14-inch wooden pilings that are severely degraded, rotted, and deteriorated, with 40 plastic composite pilings of the same size at the same location of the existing wooden pilings at the existing Fisherman's Terminal at the terminus of C Street (description of development) located at 4 C Street (APNs 001-011-013 and 001-011-015) (address, APN). The public notice was posted in a conspicuous place, easily seen by the public and as close as possible to the site of the proposed development.

Name (print) Riley Topolewski

Signature _____

Date _____

APPENDIX E

FILING FEE INSTRUCTIONS

PAYMENT IN FULL AT TIME OF APPLICATION. Applications will not be processed without full payment of all applicable fees. If overpayment occurs, a refund will be issued. Fees are assessed at the time of application, based on the project as initially proposed. If a proposed development changes during the application review process, the fee may change. If an application is withdrawn, a refund will be given only if no significant staff review time has been expended (e.g., the staff report is not drafted). Refunds are not given based on denial of a permit application by the Commission.

TO CALCULATE THE TOTAL AMOUNT DUE, fill in the applicable amounts in each category below. Add all applicable types of development in Section I (residential), Section II (commercial, other), and Section III (e.g. grading, amendments). Note and apply any multipliers, maximums, and requirements to use the greater of two calculations.

SPECIAL SITUATIONS: See Part IV and check as applicable. Submitted fees for applications that include after-the-fact (ATF) development must be five times the total fee that would apply to all the ATF development.

FISCAL YEAR INCREASES: Fees are adjusted each fiscal year (July 1 – June 30) according to the California Consumer Price Index. New fiscal year fees are applied retroactively to July 1, regardless of when the increases are approved or published in the California Code of Regulations. The Commission publishes the new fees on its website and revised applications on or before July 1.

For more information, see Section 13055 of Commission regulations (Division 5.5, Title 14, California Code of Regulations), available via the Commission's Laws and Regulations page. If you have questions, see the Commission's Contacts page to contact district staff.

FILING FEE SCHEDULE

I. RESIDENTIAL DEVELOPMENT

De minimis waiver, \$635 \$ _____

Administrative permit, \$3,175 \$ _____

Note: A matter moved from the administrative permit calendar to the regular permit calendar is subject to regular filing fees (residential development, grading, etc.).

A. Detached residential development

Up to 4 detached, single-family residences

1,500 sq. ft. or less, \$ 3,810 per residence	\$ _____
1,501 to 5,000 sq. ft., \$ 5,715 per residence	\$ _____
5,001 to 10,000 sq. ft., \$ 7,620 per residence	\$ _____
10,001 or more square feet, \$ 9,525 per residence	\$ _____

More than 4 detached, single-family residences

1,500 sq. ft. or less, greater of \$19,050 or \$1,270 per residence	\$ _____
1,501 to 5,000 sq. ft., greater of \$28,575 or \$1,905 per residence	\$ _____
5,001 to 10,000 sq. ft., greater of \$38,100 or \$2,540 per residence	\$ _____
10,001 or more sq. ft., greater of \$47,625 or \$3,175 per residence	\$ _____
Maximum, \$127,000	

Note: Calculate the square footage to include the gross internal floor space of main house and attached garage(s), plus all detached structures (e.g., guest houses, detached bedrooms, in-law units, garages, barns, art studios, tool sheds, and other outbuildings).

Note: For development that includes residences of different sizes, calculate the fee using the average square footage of all the residences times the number of residences.

B. Attached residential development

2–4 units, \$9,525	\$ _____
More than 4 units, greater of \$12,700 or \$953 per unit	\$ _____
Maximum, \$63,500	

C. Additions or improvements

If the addition or improvement does not qualify for a waiver or administrative permit, calculate according to Schedule I.A (residential detached) and Schedule III.A (grading). Note total here. \$ _____

For an amendment to an existing permit, see Schedule III.F.

II. OFFICE, COMMERCIAL, CONVENTION, INDUSTRIAL (INCLUDING ENERGY FACILITIES), AND ALL OTHER DEVELOPMENT NOT OTHERWISE IDENTIFIED

Note: The fee for nonresidential development is based on the gross square footage or the development cost, whichever results in the greater fee. “Other development not otherwise identified” includes all types of development not explicitly included in these schedules. Common examples are seawalls, docks, and water wells.

A. Gross Square Footage

1,000 gross sq. ft. or less, \$6,350	\$ 6,350
1,001 to 10,000 gross sq. ft., \$12,700	\$ _____
10,001 to 25,000 gross sq. ft., \$19,050	\$ _____
25,001 to 50,000 gross sq. ft., \$25,400	\$ _____
50,001 to 100,000 gross sq. ft., \$38,100	\$ _____
100,001 or more gross sq. ft., \$63,500	\$ _____

B. Development Cost

Note: Development cost includes all expenditures, including the cost for planning, engineering, architectural, and other services, made or to be made for designing the project, plus the estimated cost of construction of all aspects of the project both inside and outside the Commission's jurisdiction.

\$100,000 or less, fee is \$3,810	\$ _____
\$100,001 to \$500,000, fee is \$7,620	\$ 7,620
\$500,001 to \$2,000,000, fee is \$12,700	\$ _____
\$2,000,001 to \$5,000,000, fee is \$25,400	\$ _____
\$5,000,001 to \$10,000,000, fee is \$31,750	\$ _____
\$10,000,001 to \$25,000,000, fee is \$38,100	\$ _____
\$25,000,001 to \$50,000,000, fee is \$63,500	\$ _____
\$50,000,001 to \$100,000,000, fee is \$127,000	\$ _____
\$100,000,001 or more, fee is \$317,500	\$ _____

Greater of the square footage or development cost fee \$ 7,620

III. OTHER OR ADDITIONAL FEES

A. Grading – use the total cubic yards of cut and fill.

50 cubic yards or less, No fee	
51 to 100 cubic yards, \$635	\$ _____
101 to 1,000 cubic yards, \$1,270	\$ _____
1,001 to 10,000 cubic yards, \$2,540	\$ _____
10,000 to 100,000 cubic yards, \$3,810	\$ _____
100,001 to 200,000 cubic yards, \$6,350	\$ _____
200,001 or more cubic yards, \$12,700	\$ _____

B. Lot line adjustment, \$3,810 \$ _____

Note: A lot line adjustment takes land from one parcel and adds the same land to an adjoining parcel, without creating any new parcels.

C. Subdivision

Note: Count the existing lots and each additional lot created by the subdivision.

Up to 4 lots, \$3,810 per lot \$ _____
5 or more lots, \$15,240 plus \$1,270 per lot above 4 \$ _____

D. Administrative permit, \$ 3,175 \$ _____

Note: An application moved from the administrative permit calendar to the regular permit calendar is subject to regular filing fees (residential development, grading, etc.).

E. Emergency permit, \$ 1,270 \$ _____

Note: Emergency application fees are credited toward the follow-up permit application fee.

F. Amendment

Immaterial amendment, \$1,270 \$ _____

Material amendment, 50% of the fee for the original project
according to currently applicable fees. \$ _____

G. Temporary event that requires a permit according to Commission guidelines

If scheduled on administrative calendar, \$1,270 \$ _____

If not scheduled on administrative calendar, \$3,175 \$ _____

H. Extension or Reconsideration

Single-family residence, \$ 635 \$ _____

All other development, \$1,270 \$ _____

Note: If the Commission denies a permit extension, a new application fee at current rates is required to pursue the same development.

I. Request for continuance of a permit matter

First request, No fee

Each subsequent request (if approved), \$ 1,270 \$ _____

Note: Continuances are subject to deadlines under the Permit Streamlining Act (Gov. Code, § 65920 et seq.).

J. De minimis or other waivers, \$ 635 \$ _____

K. Federal Consistency - Calculate according to all applicable categories in Sections I, II, and III. Note total here: \$ _____

L. Appeal of a denial – Calculate according to all applicable categories in Sections I, II, and III. Note total here: \$ _____

Note: Appeals of denials are limited to pre-certification jurisdictions or, in jurisdictions with a fully-certified local coastal program, to major public works and energy projects. (See Pub. Resources Code, §§ 30602, 30603(a)(5); Cal. Code of Regs., tit. 14, § 13012 [definition of major works].) The fee is required before the appeal will be processed.

M. Written Permit Exemption, \$ 318 \$ _____

N. Written Boundary Determination, \$ 318 \$ _____

Multiple Parcels Determination, \$318 each \$ _____

O. Coastal Zone Boundary Adjustment, \$ 6,350 \$ _____

TOTAL FEE DUE \$ 7,620.00

IV. SPECIAL SITUATIONS (check as applicable):

☐ After the Fact Development – **Submit 5x the applicable fee.**

☐ Affordable Housing Project – Check if the project includes affordable housing. An eligible project may be entitled to a reduction in fees as determined by the Executive Director. (See Cal. Code of Regs., tit 14, § 13055(h)(2).) Submit the full fee with the application.

☐ Additional Costs – Check if additional costs are likely, such as for a large, unusual, or controversial project. The Commission may require reimbursement for additional costs. (Pub. Resources Code, § 30620(c).) A common example requiring reimbursement is when the Commission must notice the public via media sources (newspaper noticing) due to the large number of interested persons.

NOTICE OF PENDING PERMIT

**A PERMIT APPLICATION FOR DEVELOPMENT ON THIS SITE IS
PENDING BEFORE THE CALIFORNIA COASTAL COMMISSION.**

PROPOSED DEVELOPMENT: Replacement of 40 existing 14-inch wooden
pilings that are severely degraded, rotted, and deteriorated, with 40 plastic
composite pilings of the same size at the same location of the existing
wooden pilings at the existing Fisherman's Terminal at the foot of C Street.

LOCATION: 4 C Street (terminus of C Street), Eureka

APPLICANT: City of Eureka

APPLICATION NUMBER: _____

DATE NOTICE POSTED: _____

**FOR FURTHER INFORMATION, PLEASE CONTACT THE OFFICE LISTED
BELOW BETWEEN 8 A.M. AND 5 P.M. WEEKDAYS.**



Print on Yellow Stock Card

CALIFORNIA COASTAL COMMISSION
North Coast District Office
1385 Eighth Street, Suite 130
Arcata, CA 95521
(707) 826-8950

CALIFORNIA COASTAL COMMISSION

NORTH COAST DISTRICT OFFICE
1385 EIGHTH STREET, SUITE 130
ARCATA, CA 95521
VOICE (707) 826-8950
FAX (707) 826-8960



July 30, 2021

City of Eureka
Attn: Riley Topolewski, Senior Planner
531 K Street
Eureka, CA 95501

RE: Coastal Development Permit (CDP) Application No. 1-21-0459 for repair of a loading and unloading dock consisting of the removal and replacement of 40 existing wooden pilings with new, plastic composite pilings at the foot of C Street, Eureka, Humboldt County, APNs 001-011-013 and 001-011-015.

Dear Applicant:

On July 1, 2021 we received the above-referenced coastal development permit (CDP) application. We have completed an initial review of the application and determined it to be incomplete and unable to be filed in accordance with 14 CCR §13056 until we receive the additional information identified below:

1. Appendix A (Declaration of Campaign Contributions): Appendix A of the application form was submitted blank. Please fill out Appendix A (enclosed) and return to our office.
2. Appendix B (Local Agency Review Form): Appendix B of the application form was submitted incorrectly. A blank Appendix B is included with this letter. Please have the local planning office complete Section 2 including the certification section at the end of the form and resubmit to our office.
3. Appendix D (Declaration of Posting on Site): Appendix D was left incomplete (copy enclosed). Please fill in the date that the Notice of Pending Permit was posted on site and sign the bottom of the form.
4. Stamped Addressed Envelopes: Thank you for including a list of surrounding property owners in the submitted CDP application Appendix C. Please also provide stamped (no postage meter) envelopes for these addresses as well as any other known interested parties.
5. Other Agency Approvals: In addition to the Coastal Commission, the proposed piling replacement project may fall under the jurisdiction of local, state, and federal agencies including the Regional Water Quality Control Board (RWQCB), U.S. Army Corps of Engineers (USACE), NOAA Fisheries, CA Department of Fish and Wildlife (CDFW), U.S. Fish and Wildlife Service (USFWS), State Lands Commission, and the Humboldt Bay Harbor, Recreation, and Conservation

District (HBHRCD). For each agency, please indicate the status of your permit/consultations, provide copies of permit approvals once granted and indicate any changes to the project required by these other agencies. If applicable, please provide any Biological Assessments prepared for the project to support federal resource agency consultations.

6. CDP Authorization within City of Eureka Jurisdiction: A portion of the staging area appears to be within the delegated permitting authority of the City of Eureka. The Commission's mapping division is confirming the boundary between state and local jurisdiction and we will follow up with a boundary map and next steps if needed.
7. Details on Spill Prevention, Control, & Countermeasures: Thank you for providing the memo from LACO describing the potential project impacts. The proposed work will involve the use of heavy equipment in and around coastal waters. The memo mentions that BMPs will be implemented to ensure any potential impacts to the marine environment are minimized. Please provide a preliminary spill prevention, control, and countermeasure plan or otherwise describe measures to be employed to avoid and mitigate the potential for spill impacts on coastal waters.
8. Clarification on Methods of Repairs:
 - a. Please clarify whether equipment used to install the new pilings will be operated from the adjacent dock or from a barge. Please clarify the methods of installing non-structural plastic wales across the pilings, including equipment to be used and the operating location of the equipment.
 - b. The submitted application states that new pilings would be installed using a vibratory pile driver. Please indicate whether any piling driving activities would include final proofing with a conventional impact hammer driver.
 - c. Please explain how the original, creosote and pressure-treated piles will be removed to prevent any contaminants from the treated wood from leaching into the water. Describe any BMPs that will be used if any original piles break off while being removed, such as cutting the piles off below the mudline.
9. Fill in Coastal Waters: Coastal Act Section 30108.2 defines "fill" as "earth or any other substance or material, including pilings placed for the purposes of erecting structures thereon, placed in a submerged area." The project will replace 40 damaged pilings with new pilings of the same size and in the same location. Please provide the total area of replacement fill associated with the 40 pilings.
10. Use of Heavy Equipment: Please describe the construction equipment proposed for the project. Due to their high aquatic toxicity, standard petroleum-based hydraulic fluids and diesel fuel pose a risk if leaked or spilled in or near sensitive

aquatic habitats. There are alternative vegetable-oil based hydraulic fluids and biodiesel available for use in construction equipment that have lower aquatic toxicity than do petroleum products. Vegetable-oil based hydraulic fluid and biodiesel are also biodegradable and break down more rapidly in the environment than petroleum products, thus reducing the contamination of soil, groundwater, and surface water in the event of fluid and fuel spills. For the proposed dock repair work, please explain whether using heavy equipment that relies on biodegradable hydraulic fluids and biodiesel fuel is a feasible alternative, and if not, explain why not.

11. Eelgrass Mitigation and Monitoring Plan: According to the eelgrass distribution map submitted with the application, there is eelgrass in close proximity to the dock. The eelgrass distribution map reflects conditions at the time the surveys were complete (in 2016 most recently). In order to adequately describe the potential impacts to eelgrass and assess whether eelgrass monitoring and mitigation measures are required, we will need an updated eelgrass survey both pre- and post-construction. Please submit a preliminary eelgrass mitigation and monitoring plan for the project that includes provisions for (1) conducting a pre-construction survey that maps the density and distribution of eelgrass beds according to NMFS guidelines; (2) conducting post-construction monitoring to evaluate adverse impacts, if any, of construction; and (3) providing mitigation if post-construction eelgrass surveys indicate any decrease in eelgrass density or cover. The plan must be prepared by a qualified botanist or ecologist with experience in surveying and monitoring eelgrass and preparing and implementing eelgrass mitigation plans. The pre-construction eelgrass surveys must be conducted and completed during the active growing season for eelgrass (May-September) prior to the beginning of construction and if possible, during the same year as planned construction. For guidance, see the California Eelgrass Mitigation Policy and Implementing Guidelines prepared by the National Marine Fisheries Service (NMFS), West Region.
12. Timeline of Work and Dock Access Impacts: Thank you for providing the estimate construction timeline. The application states that access would be temporarily impacted, as necessary, for safety reasons when equipment and trucks are at the scene. Please provide an estimated total time (e.g., number of days and/or hours per day) that dock access will be blocked to members of the public and for commercial fishing operations. Please clarify whether closures will occur during peak usage periods, how temporary closures will be clearly communicated to the public, and how conflicts with public access and commercial and recreational boating will be minimized.
13. Tribal Consultation Follow-up: It is the Commission's policy and responsibility to notify Tribes who have informed the Commission of their interest in a particular geographic area when a CDP application has been received for development in the area of interest to provide the Tribes with the opportunity to comment on the application. We also send notification to tribes recommended for consultation by the Native American Heritage Commission. We will be referring your application

CDP Application No. 1-21-0459
City of Eureka Dock Repair

to the Tribes who have requested such notification/have interest in the subject area as well as those directed for consultation by the NAHC. If/after we hear from any of the notified Tribes regarding additional information needed to ascertain potential project effects on archaeological resources, we will notify you at that time.

Thank you for your cooperation in providing the requested information. After all the above-listed materials have been received, the application will again be reviewed and will be filed if all is in order (CA Government Code Section 65943(a)). Please note that there may be additional materials necessary for filing purposes depending upon the nature of the information provided pursuant to the above information request. Thank you in advance for your cooperation and don't hesitate to contact me at catherine.holloway@coastal.ca.gov or by phone at (707) 826-8950 with any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Catherine Holloway', with a long horizontal line extending to the right.

Catherine Holloway
Coastal Planner

Encl. Copies of Appendices A, B, and D

cc: Jordan Blough (LACO Associates), agent

25. Is any portion of the nationwide permit activity already complete? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, describe the completed work:			
26. List the name(s) of any species listed as endangered or threatened under the Endangered Species Act that might be affected by the proposed NWP activity or utilize the designated critical habitat that might be affected by the proposed NWP activity. (see instructions) See Attached			
27. List any historic properties that have the potential to be affected by the proposed NWP activity or include a vicinity map indicating the location of the historic property or properties. (see instructions) N/A			
28. For a proposed NWP activity that will occur in a component of the National Wild and Scenic River System, or in a river officially designated by Congress as a "study river" for possible inclusion in the system while the river is in an official study status, identify the Wild and Scenic River or the "study river": N/A			
29. If the proposed NWP activity also requires permission from the Corps pursuant to 33 U.S.C. 408 because it will alter or temporarily or permanently occupy or use a U.S. Army Corps of Engineers federally authorized civil works project, have you submitted a written request for section 408 permission from the Corps district having jurisdiction over that project? <input type="checkbox"/> Yes <input type="checkbox"/> No If "yes", please provide the date your request was submitted to the Corps district:			
30. If the terms of the NWP(s) you want to use require additional information to be included in the PCN, please include that information in this space or provide it on an additional sheet of paper marked Block 30. (see instructions) N/A			
31. Pre-construction notification is hereby made for one or more nationwide permit(s) to authorize the work described in this notification. I certify that the information in this pre-construction notification is complete and accurate. I further certify that I possess the authority to undertake the work described herein or am acting as the duly authorized agent of the applicant.			
_____ SIGNATURE OF APPLICANT		_____ DATE	
_____ SIGNATURE OF AGENT		_____ DATE	
_____ SIGNATURE OF APPLICANT		_____ DATE	
_____ SIGNATURE OF AGENT		_____ DATE	
The pre-construction notification must be signed by the person who desires to undertake the proposed activity (applicant) and, if the statement in Block 11 has been filled out and signed, the authorized agent.			
18 U.S.C. Section 1001 provides that: Whoever, in any manner within the jurisdiction of any department or agency of the United States knowingly and willfully falsifies, conceals, or covers up any trick, scheme, or disguises a material fact or makes any false, fictitious or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious or fraudulent statements or entry, shall be fined not more than \$10,000 or imprisoned not more than five years or both.			

**Instructions for Preparing a
Department of the Army
Nationwide Permit (NWP) Pre-Construction Notification (PCN)**

Blocks 1 through 4. To be completed by the Corps of Engineers.

Block 5. Applicant's Name. Enter the name and the e-mail address of the responsible party or parties. If the responsible party is an agency, company, corporation, or other organization, indicate the name of the organization and responsible officer and title. If more than one party is associated with the preconstruction notification, please attach a sheet of paper with the necessary information marked Block 5.

Block 6. Address of Applicant. Please provide the full address of the party or parties responsible for the PCN. If more space is needed, attach an extra sheet of paper marked Block 6.

Block 7. Applicant's Telephone Number(s). Please provide the telephone number where you can usually be reached during normal business hours.

Blocks 8 through 11. To be completed, if you choose to have an agent.

Block 8. Authorized Agent's Name and Title. Indicate name of individual or agency, designated by you, to represent you in this process. An agent can be an attorney, builder, contractor, engineer, consultant, or any other person or organization. Note: An agent is not required.

Blocks 9 and 10. Agent's Address and Telephone Number. Please provide the complete mailing address of the agent, along with the telephone number where he / she can be reached during normal business hours.

Block 11. Statement of Authorization. To be completed by the applicant, if an agent is to be employed.

Block 12. Proposed Nationwide Permit Activity Name or Title. Please provide a name identifying the proposed NWP activity, e.g., Windward Marina, Rolling Hills Subdivision, or Smith Commercial Center.

Block 13. Name of Waterbody. Please provide the name (if it has a name) of any stream, lake, marsh, or other waterway to be directly impacted by the NWP activity. If it is a minor (no name) stream, identify the waterbody the minor stream enters.

Block 14. Proposed Activity Street Address. If the proposed NWP activity is located at a site having a street address (not a box number), please enter it in Block 14.

Block 15. Location of Proposed Activity. Enter the latitude and longitude of where the proposed NWP activity is located. Indicate whether the project location provided is the center of the project or whether the project location is provided as the latitude and longitude for each of the "corners" of the project area requiring evaluation. If there are multiple sites, please list the latitude and longitude of each site (center or corners) on a separate sheet of paper and mark as Block 15.

Block 16. Other Location Descriptions. If available, provide the Tax Parcel Identification number of the site, Section, Township, and Range of the site (if known), and / or local Municipality where the site is located.

Block 17. Directions to the Site. Provide directions to the site from a known location or landmark. Include highway and street numbers as well as names. Also provide distances from known locations and any other information that would assist in locating the site. You may also provide a description of the location of the proposed NWP activity, such as lot numbers, tract numbers, or you may choose to locate the proposed NWP activity site from a known point (such as the right descending bank of Smith Creek, one mile downstream from the Highway 14 bridge). If a large river or stream, include the river mile of the proposed NWP activity site if known. If there are multiple locations, please indicate directions to each location on a separate sheet of paper and mark as Block 17.

Block 18. Identify the Specific Nationwide Permit(s) You Propose to Use. List the number(s) of the Nationwide Permit(s) you want to use to authorize the proposed activity (e.g., NWP 29).

Block 19. Description of the Proposed Nationwide Permit Activity. Describe the proposed NWP activity, including the direct and indirect adverse environmental effects the activity would cause. The description of the proposed activity should be sufficiently detailed to allow the district engineer to determine that the adverse environmental effects of the activity will be no more than minimal. Identify the materials to be used in construction, as well as the methods by which the work is to be done.

Provide sketches when necessary to show that the proposed NWP activity complies with the terms of the applicable NWP(s). Sketches usually clarify the activity and result in a quicker decision. Sketches should contain sufficient detail to provide an illustrative description of the proposed NWP activity (e.g., a conceptual plan), but do not need to be detailed engineering plans.

The written descriptions and illustrations are an important part of the application. Please describe, in detail, what you wish to do. If more space is needed, attach an extra sheet of paper marked Block 19.

Block 20. Description of Proposed Mitigation Measures. Describe any proposed mitigation measures intended to reduce the adverse environmental effects caused by the proposed NWP activity. The description of any proposed mitigation measures should be sufficiently detailed to allow the district engineer to determine that the adverse environmental effects of the activity will be no more than minimal and to determine the need for compensatory mitigation or additional mitigation measures.

Block 21. Purpose of Nationwide Permit Activity. Describe the purpose and need for the proposed NWP activity. What will it be used for and why? Also include a brief description of any related activities associated with the proposed project. Provide the approximate dates you plan to begin and complete all work.

Block 22. Quantity of Wetlands, Streams, or Other Types of Waters Directly Affected by the Proposed Nationwide Permit Activity. For discharges of dredged or fill material into waters of the United States, provide the amount of wetlands, streams, or other types of waters filled, flooded, excavated, or drained by the proposed NWP activity. For structures or work in navigable waters of the United States subject to Section 10 of the Rivers and Harbors Act of 1899, provide the amount of navigable waters filled, dredged, or occupied by one or more structures (e.g., aids to navigation, mooring buoys) by the proposed NWP activity.

For multiple NWPs, or for separate and distant crossings of waters of the United States authorized by NWPs 12 or 14, attach an extra sheet of paper marked Block 21 to provide the quantities of wetlands, streams, or other types of waters filled, flooded, excavated, or drained (or dredged or occupied by structures, if in waters subject to Section 10 of the Rivers and Harbors Act of 1899) for each NWP. For NWPs 12 and 14, include the amount of wetlands, streams, or other types of waters filled, flooded, excavated, or drained for each separate and distant crossing of waters or wetlands. If more space is needed, attach an extra sheet of paper marked Block 22.

Block 23. Identify Any Other Nationwide Permit(s), Regional General Permit(s), or Individual Permit(s) Used to Authorize Any Part of Proposed Activity or Any Related Activity. List any other NWP(s), regional general permit(s), or individual permit(s) used or intended to be used to authorize any part of the proposed project or any related activity. For linear projects, list other separate and distant crossings of waters and wetlands authorized by NWPs 12 or 14 that do not require PCNs. If more space is needed, attach an extra sheet of paper marked Block 23.

Block 24. Compensatory Mitigation Statement for Losses of Greater Than 1/10-Acre of Wetlands When Pre-Construction Notification is Required. Paragraph (c) of NWP general condition 23 requires compensatory mitigation at a minimum one-for-one replacement ratio will be required for all wetland losses that exceed 1/10-acre and require pre-construction notification, unless the district engineer determines in writing that either some other form of mitigation is more environmentally appropriate or the adverse environmental effects of the proposed NWP activity are no more than minimal without compensatory mitigation, and provides an activity-specific waiver of this requirement. Describe the proposed compensatory mitigation for wetland losses greater than 1/10 acre, or provide an explanation of why the district engineer should not require wetland compensatory mitigation for the proposed NWP activity. If more space is needed, attach an extra sheet of paper marked Block 24.

Block 25. Is Any Portion of the Nationwide Permit Activity Already Complete? Describe any work that has already been completed for the NWP activity.

Block 26. List the Name(s) of Any Species Listed As Endangered or Threatened under the Endangered Species Act that Might be Affected by the Nationwide Permit Activity. If you are not a federal agency, and if any listed species or designated critical habitat might be affected or is in the vicinity of the proposed NWP activity, or if the proposed NWP activity is located in designated critical habitat, list the name(s) of those endangered or threatened species that might be affected by the proposed NWP activity or utilize the designated critical habitat that might be affected by the proposed NWP activity. If you are a Federal agency, and the proposed NWP activity requires a PCN, you must provide documentation demonstrating compliance with Section 7 of the Endangered Species Act.

Block 27. List Any Historic Properties that Have the Potential to be Affected by the Nationwide Permit Activity. If you are not a Federal agency, and if any historic properties have the potential to be affected by the proposed NWP activity, list the name(s) of those historic properties that have the potential to be affected by the proposed NWP activity. If you are a Federal agency, and the proposed NWP activity requires a PCN, you must provide documentation demonstrating compliance with Section 106 of the National Historic Preservation Act.

Block 28. List the Wild and Scenic River or Congressionally Designated Study River if the Nationwide Permit Activity Would Occur in such a River. If the proposed NWP activity will occur in a river in the National Wild and Scenic River System or in a river officially designated by Congress as a "study river" under the Wild and Scenic Rivers Act, provide the name of the river. For a list of Wild and Scenic Rivers and study rivers, please visit <http://www.rivers.gov/>.

Block 29. Nationwide Permit Activities that also Require Permission from the Corps Under 33 U.S.C. 408. If the proposed NWP activity also requires permission from the Corps under 33 U.S.C. 408 because it will temporarily or permanently alter, occupy, or use a Corps federal authorized civil works project, indicate whether you have submitted a written request for section 408 permission from the Corps district having jurisdiction over that project.

Block 30. Other Information Required For Nationwide Permit Pre-Construction Notifications. The terms of some of the Nationwide Permits include additional information requirements for preconstruction notifications:

- * NWP 3, Maintenance –information regarding the original design capacities and configurations of the outfalls, intakes, small impoundments, and canals.
- * NWP 31, Maintenance of Existing Flood Control Facilities –a description of the maintenance baseline and the dredged material disposal site.
- * NWP 33, Temporary Construction, Access, and Dewatering –a restoration plan showing how all temporary fills and structures will be removed and the area restored to pre-project conditions.
- * NWP 44, Mining Activities –if reclamation is required by other statutes, then a copy of the final reclamation plan must be submitted with the pre-construction notification.
- * NWP 45, Repair of Uplands Damaged by Discrete Events –documentation, such as a recent topographic survey or photographs, to justify the extent of the proposed restoration.
- * NWP 48, Commercial Shellfish Aquaculture Activities –(1) a map showing the boundaries of the project area, with latitude and longitude coordinates for each corner of the project area; (2) the name(s) of the species that will be cultivated during the period this NWP is in effect; (3) whether canopy predator nets will be used; (4) whether suspended cultivation techniques will be used; and (5) general water depths in the project area (a detailed survey is not required).
- * NWP 49, Coal Remining Activities –a document describing how the overall mining plan will result in a net increase in aquatic resource functions must be submitted to the district engineer and receive written authorization prior to commencing the activity.
- * NWP 50, Underground Coal Mining Activities –if reclamation is required by other statutes, then a copy of the reclamation plan must be submitted with the pre-construction notification.

If more space is needed, attach an extra sheet of paper marked Block 30.

Block 31. Signature of Applicant or Agent. The PCN must be signed by the person proposing to undertake the NWP activity, and if applicable, the authorized party (agent) that prepared the PCN. The signature of the person proposing to undertake the NWP activity shall be an affirmation that the party submitting the PCN possesses the requisite property rights to undertake the NWP activity (including compliance with special conditions, mitigation, etc.).

DELINEATION OF WETLANDS, OTHER SPECIAL AQUATIC SITES, AND OTHER WATERS

Each PCN must include a delineation of wetlands, other special aquatic sites, and other waters, such as lakes and ponds, and perennial, intermittent, and ephemeral streams, on the project site. Wetland delineations must be prepared in accordance with the current wetland delineation manual and regional supplement published by the Corps. The permittee may ask the Corps to delineate the special aquatic sites and other waters on the project site, but there may be a delay if the Corps does the delineation, especially if the project site is large or contains many wetlands, other special aquatic sites, and other waters. The 45 day PCN review period will not start until the delineation is submitted or has been completed by the Corps.

DRAWINGS AND ILLUSTRATIONS

General Information.

Three types of illustrations are needed to properly depict the work to be undertaken. These illustrations or drawings are identified as a Vicinity Map, a Plan View or a Typical Cross-Section Map. Identify each illustration with a figure or attachment number. For linear projects (e.g. roads, subsurface utility lines, etc.) gradient drawings should also be included. Please submit one original, or good quality copy, of all drawings on 8½x11 inch plain white paper (electronic media may be substituted). Use the fewest number of sheets necessary for your drawings or illustrations. Each illustration should identify the project, the applicant, and the type of illustration (vicinity map, plan view, or cross-section). While illustrations need not be professional (many small, private project illustrations are prepared by hand), they should be clear, accurate, and contain all necessary information.

ADDITIONAL INFORMATION AND REQUIREMENTS

For proposed NWP activities that involve discharges into waters of the United States, water quality certification from the State, Tribe, or EPA must be obtained or waived (see NWP general condition 25). Some States, Tribes, or EPA have issued water quality certification for one or more NWPs. Please check the appropriate Corps district web site to see if water quality certification has already been issued for the NWP(s) you wish to use. For proposed NWP activities in coastal states, state Coastal Zone Management Act consistency concurrence must be obtained, or a presumption of concurrence must occur (see NWP general condition 26). Some States have issued Coastal Zone Management Act consistency concurrences for one or more NWPs. Please check the appropriate Corps district web site to see if Coastal Zone Management Act consistency concurrence has already been issued for the NWP(s) you wish to use.

BUDGET INFORMATION - Construction Programs

NOTE: Certain Federal assistance programs require additional computations to arrive at the Federal share of project costs eligible for participation. If such is the case, you will be notified.

COST CLASSIFICATION	a. Total Cost	b. Costs Not Allowable for Participation	c. Total Allowable Costs (Columns a-b)
1. Administrative and legal expenses	\$ 10,000	\$	\$ 10,000
2. Land, structures, rights-of-way, appraisals, etc.	\$	\$	\$
3. Relocation expenses and payments	\$	\$	\$
4. Architectural and engineering fees	\$ 30,000	\$	\$ 30,000
5. Other architectural and engineering fees	\$ 20,000	\$	\$ 20,000
6. Project inspection fees	\$ 10,000	\$	\$ 10,000
7. Site work	\$	\$	\$
8. Demolition and removal	\$ 115,400	\$	\$ 115,400
9. Construction	\$ 627,100	\$	\$ 627,100
10. Equipment	\$	\$	\$
11. Miscellaneous	\$	\$	\$
12. SUBTOTAL (sum of lines 1-11)	\$ 812,500	\$	\$ 812,500
13. Contingencies	\$	\$	\$
14. SUBTOTAL	\$ 812,500	\$	\$ 812,500
15. Project (program) income	\$	\$	\$
16. TOTAL PROJECT COSTS (subtract #15 from #14)	\$ 812,500	\$	\$ 812,500
FEDERAL FUNDING			
17. Federal assistance requested, calculate as follows: (Consult Federal agency for Federal percentage share.) Enter eligible costs from line 16c Multiply X 80 % Enter the resulting Federal share.			\$ 650,000

RECORDING REQUESTED BY:

Fidelity National Title Ins. Co.

When Recorded Mail Document
and Tax Statement To:

The City of Eureka
ATTN: MARK RICARDS
531 "K" Street
Eureka, CA 95501

Escrow No. 199728-GK

Title Order No. 199728

1995-10714-2

Recorded — Official Records
Humboldt County, California
Carolyn Crnich, Recorder

Recorded by Fidelity National

Exempt from payment of fees
Clerk: MH Total: 0.00
May 3, 1995 at 10:00

SPACE ABOVE

APN: 1-011-12

JPN

GRANT DEED

The undersigned grantor(s) declare(s)

Documentary transfer tax is \$

~~City tax~~ (DEED 1 of 11)

- [XX] computed on full value of property conveyed, or
[] computed on full value less value of liens or encumbrances remaining at time of sale,
[] Unincorporated Area City of Eureka

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, HERBERT J. STUART and BERNEICE A. STUART, husband and wife

hereby GRANT(S) to THE EUREKA REDEVELOPMENT AGENCY, a public body,
corporate and politic

the following described real property in the City of Eureka
County of Humboldt State of California:

Parcel 11, as shown on Parcel Map No. 1852 on file in the Recorder's Office of Humboldt
County, in Book 16 of Parcel Maps, pages 57 through 61.

DATED: December 29, 1994

STATE OF CALIFORNIA

COUNTY OF San Francisco

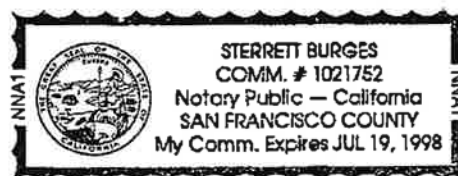
ON February 23, 1995 before me,
the undersigned personally appeared
Herbert J. Stuart and Berneice A. Stuart

personally known to me (or proved to me on the basis of
satisfactory evidence) to be the person(s) whose name(s)
is/are subscribed to the within instrument and
acknowledged to me that he/she/they executed the same
in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s),
or the entity upon behalf of which the person(s) acted,
executed the instrument.

WITNESS my hand and official seal.

Signature

[Signature]
my comm. expires 7/19/98



MAIL TAX STATEMENTS AS DIRECTED ABOVE

C E R T I F I C A T E O F A C C E P T A N C E

THIS IS TO CERTIFY that the interest in real property conveyed by the attached Grant Deed from HERBERT J. STUART and BERNEICE A. STUART, husband and wife to THE EUREKA REDEVELOPMENT AGENCY, a public body, corporate and politic, County of Humboldt, State of California, is hereby accepted by Grantee, and Grantee consents to the recordation thereof.

Such acceptance and consent to recordation are pursuant to authority granted by the City Council of the City Eureka, a Municipal Corporation, County of Humboldt, State of California, acting as The Eureka Redevelopment Agency Board, on June 7, 1994.

THE EUREKA REDEVELOPMENT AGENCY



JOHN E. ARNOLD
Executive Director

5.2.95

DATE

RECORDING REQUESTED BY:

Fidelity National Title Ins. Co.

**When Recorded Mail Document
and Tax Statement To:**

The City of Eureka
ATTEN: MARK RICARDS
531 "K" Street
Eureka, CA 95501
Escrow No. 199728-GK
Title Order No. 199728

1995-10715-2

Recorded — Official Records
Humboldt County, California
Carolyn Crnich, Recorder

Recorded by Fidelity National
Exempt from payment of fees
Clerk: MH Total: 0.00
May 3, 1995 at 10:00

SPACE ABOVE THIS

APN: 1-011-12

JPN

GRANT DEED

The undersigned grantor(s) declare(s)

Documentary transfer tax is \$ COLLECTED UNDER DEED 1 (DEED 2 of 11)

- ☒ [XX] computed on full value of property conveyed, or
☐ [] computed on full value less value of liens or encumbrances remaining at time of sale,
☐ [] Unincorporated Area City of Eureka

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, EMBARCADERO MORTGAGE FUND I, a California limited partnership

hereby GRANT(S) to THE EUREKA REDEVELOPMENT AGENCY, a public body,
corporate and politic

the following described real property in the City of Eureka
County of Humboldt State of California:

Parcel 11, as shown on Parcel Map No. 1852 on file in the Recorder's Office of Humboldt
County, in Book 16 of Parcel Maps, pages 57 through 61.

DATED: December 29, 1994

STATE OF CALIFORNIA

COUNTY OF ALAMEDA

ON 3-14-95 before me,

C. J. GEHRING personally appeared

Robert Cushman II

personally known to me (or proved to me on the basis of
satisfactory evidence) to be the person(s) whose name(s)
is/are subscribed to the within instrument and
acknowledged to me that he/she/they executed the same
in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s),
or the entity upon behalf of which the person(s) acted,
executed the instrument.

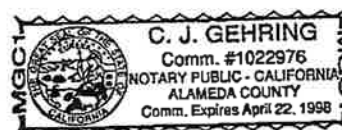
WITNESS my hand and official seal.

Signature

my comm. expires 11/22/98

EMBARCADERO MORTGAGE FUND I,
a California limited partnership

BY: *[Signature]*
Embarcadero Partners,
GENERAL PARTNER



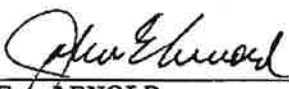
MAIL TAX STATEMENTS AS DIRECTED ABOVE

C E R T I F I C A T E O F A C C E P T A N C E

THIS IS TO CERTIFY that the interest in real property conveyed by the attached Grant Deed from EMBARCADERO MORTGAGE FUND I, a California limited partnership to THE EUREKA REDEVELOPMENT AGENCY, a public body, corporate and politic, County of Humboldt, State of California, is hereby accepted by Grantee, and Grantee consents to the recordation thereof.

Such acceptance and consent to recordation are pursuant to authority granted by the City Council of the City Eureka, a Municipal Corporation, County of Humboldt, State of California, acting as The Eureka Redevelopment Agency Board, on June 7, 1994.

THE EUREKA REDEVELOPMENT AGENCY



JOHN E. ARNOLD
Executive Director

5.2.95

DATE

RECORDING REQUESTED BY:

Fidelity National Title Ins. Co.

**When Recorded Mail Document
and Tax Statement To:**

The City of Eureka
ATTEN: MARK RICARDS
531 "K" Street
Eureka, CA 95501

Escrow No. 199728-GK

Title Order No. 199728

1995-10716-2

Recorded — Official Records
Humboldt County, California
Carolyn Crnich, Recorder

Recorded by Fidelity National

Exempt from payment of fees
Clerk: MH Total: 0.00
May 3, 1995 at 10:00

SPACE ABOVE

APN: 1-011-12

JPN

GRANT DEED

The undersigned grantor(s) declare(s)

Documentary transfer tax is \$ COLLECTED UNDER DEED 1 (DEED 3 of 11)

- ☒ [XX] computed on full value of property conveyed, or
☐ [] computed on full value less value of liens or encumbrances remaining at time of sale,
☐ [] Unincorporated Area City of Eureka

**FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, DEHOFF ENTERPRISES, INC.
EMPLOYEES PENSION TRUST**

hereby GRANT(S) to THE EUREKA REDEVELOPMENT AGENCY, a public body,
corporate and politic

**the following described real property in the City of Eureka,
County of Humboldt State of California:**

Parcel 11, as shown on Parcel Map No. 1852 on file in the Recorder's Office of Humboldt
County, in Book 16 of Parcel Maps, pages 57 through 61.

DATED: January 03, 1995

DEHOFF ENTERPRISES, INC.
Employees Pension Trust

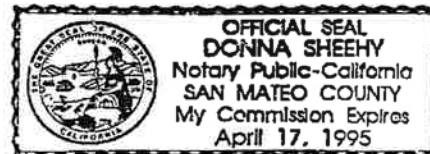
BY: Jack Dehoff Trustee

STATE OF CALIFORNIA

COUNTY OF San Mateo

ON 2-28-95 before me,
Donna Sheehy personally appeared
Jack Dehoff

personally known to me (or proved to me on the basis of
satisfactory evidence) to be the person(s) whose name(s)
is/are subscribed to the within instrument and
acknowledged to me that he/she/they executed the same
in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s),
or the entity upon behalf of which the person(s) acted,
executed the instrument.



WITNESS my hand and official seal

Signature Donna Sheehy
my comm. expires 4-17-95

MAIL TAX STATEMENTS AS DIRECTED ABOVE

C E R T I F I C A T E O F A C C E P T A N C E

THIS IS TO CERTIFY that the interest in real property conveyed by the attached Grant Deed from DEHOFF ENTERPRISES, INC. EMPLOYEES PENSION TRUST to THE EUREKA REDEVELOPMENT AGENCY, a public body, corporate and politic, County of Humboldt, State of California, is hereby accepted by Grantee, and Grantee consents to the recordation thereof.

Such acceptance and consent to recordation are pursuant to authority granted by the City Council of the City Eureka, a Municipal Corporation, County of Humboldt, State of California, acting as The Eureka Redevelopment Agency Board, on June 7, 1994.

THE EUREKA REDEVELOPMENT AGENCY



JOHN E. ARNOLD
Executive Director

5.2.98
DATE

RECORDING REQUESTED BY:

Fidelity National Title Ins. Co.

**When Recorded Mail Document
and Tax Statement To:**

The City of Eureka
ATTEN: MARK RICARDS
531 "K" Street
Eureka, CA 95501

Escrow No. 199728-GK
Title Order No. 199728

SPACE ABC

1995-10717-2

Recorded — Official Records
Humboldt County, California
Carolyn Crnich, Recorder

Recorded by Fidelity National
Exempt from payment of fees
Clerk: MH Total: 0.00
May 3, 1995 at 10:00

APN: 1-011-12

JFN

GRANT DEED

The undersigned grantor(s) declare(s)

Documentary transfer tax is \$ COLLECTED UNDER DEED 1 (DEED 4 of 11)

- [XX] computed on full value of property conveyed, or
[] computed on full value less value of liens or encumbrances remaining at time of sale,
[] Unincorporated Area City of Eureka

**FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, ASSOCIATED CALIFORNIA STATE
INSURANCE AGENCIES INC. PROFIT SHARING PLAN**

hereby GRANT(S) to THE EUREKA REDEVELOPMENT AGENCY, a public body,
corporate and politic

the following described real property in the City of Eureka,
County of Humboldt State of California:

Parcel 11, as shown on Parcel Map No. 1852 on file in the Recorder's Office of Humboldt
County, in Book 16 of Parcel Maps, pages 57 through 61.

DATED: December 29, 1994

STATE OF CALIFORNIA

COUNTY OF SAN MATEO

ON July 22, 1995

Kent William BRANDT before me,
ROBERT S. DELUE personally appeared

personally known to me (or proved to me on the basis of
satisfactory evidence) to be the person(s) whose name(s)
is/are subscribed to the within instrument and
acknowledged to me that he/she/they executed the same
in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s),
or the entity upon behalf of which the person(s) acted,
executed the instrument.

WITNESS my hand and official seal.

Signature

Kent William Brandt

my comm. expires

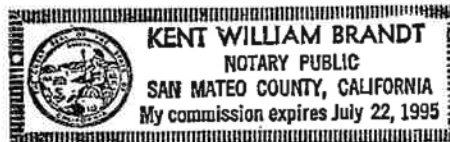
July 22, 1995

MAIL TAX STATEMENTS AS DIRECTED ABOVE

ASSOCIATED CALIFORNIA STATE
INSURANCE AGENCIES, INC.

BY:

Robert S. Delue



C E R T I F I C A T E O F A C C E P T A N C E

THIS IS TO CERTIFY that the interest in real property conveyed by the attached Grant Deed from ASSOCIATED CALIFORNIA STATE INSURANCE AGENCIES INC. PROFIT SHARING PLAN to THE EUREKA REDEVELOPMENT AGENCY, a public body, corporate and politic, County of Humboldt, State of California, is hereby accepted by Grantee, and Grantee consents to the recordation thereof.

Such acceptance and consent to recordation are pursuant to authority granted by the City Council of the City Eureka, a Municipal Corporation, County of Humboldt, State of California, acting as The Eureka Redevelopment Agency Board, on June 7, 1994.

THE EUREKA REDEVELOPMENT AGENCY



JOHN E. ARNOLD
Executive Director

5.2.95
DATE

1995-10718-2

Recorded — Official Records
Humboldt County, California
Carolyn Crnich, Recorder

Recorded by Fidelity National
Exempt from payment of fees
Clerk: MH Total: 0.00
May 3, 1995 at 10:00

RECORDING REQUESTED BY:

Fidelity National Title Ins. Co.

When Recorded Mail Document
and Tax Statement To:

The City of Eureka
ATTEN: MARK RICARDS
531 "K" Street
Eureka, CA 95501

Escrow No. 199728-GK

Title Order No. 199728

SPACE ABOVE

APN: 1-011-12

JPN

GRANT DEED

The undersigned grantor(s) declare(s)

Documentary transfer tax is \$ COLLECTED UNDER DEED 1 (DEED 5 of 11)

- [XX] computed on full value of property conveyed, or
[] computed on full value less value of liens or encumbrances remaining at time of sale,
[] Unincorporated Area City of Eureka

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, ASSOCIATED CALIFORNIA STATE
INSURANCE AGENCIES INC. PROFIT SHARING PLAN

hereby GRANT(S) to THE EUREKA REDEVELOPMENT AGENCY, a public body,
corporate and politic

the following described real property in the City of Eureka
County of Humboldt State of California:

Parcel 11, as shown on Parcel Map No. 1852 on file in the Recorder's Office of Humboldt
County, in Book 16 of Parcel Maps, pages 57 through 61.

DATED: December 29, 1994

ASSOCIATED CALIFORNIA STATE
INSURANCE AGENCIES, INC.

BY: Robert L. DeLuca

STATE OF CALIFORNIA

COUNTY OF SAN MATEO

ON 2nd of March, 1995 before me,

Kent William Brandt personally appeared

Robert L. DeLuca

personally known to me (or proved to me on the basis of
satisfactory evidence) to be the person(s) whose name(s)
is/are subscribed to the within instrument and
acknowledged to me that he/she/they executed the same
in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s),
or the entity upon behalf of which the person(s) acted,
executed the instrument.

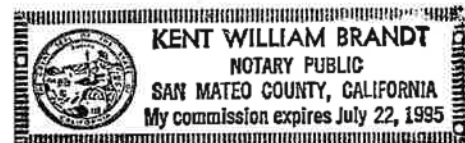
WITNESS my hand and official seal.

Signature Kent William Brandt
my comm. expires July 22, 1995

MAIL TAX STATEMENTS AS DIRECTED ABOVE

FD-213 (Rev 3/94) Kent William Brandt

GRANT DEED




①

C E R T I F I C A T E O F A C C E P T A N C E

THIS IS TO CERTIFY that the interest in real property conveyed by the attached Grant Deed from ASSOCIATED CALIFORNIA STATE INSURANCE AGENCIES INC. PROFIT SHARING PLAN to THE EUREKA REDEVELOPMENT AGENCY, a public body, corporate and politic, County of Humboldt, State of California, is hereby accepted by Grantee, and Grantee consents to the recordation thereof.

Such acceptance and consent to recordation are pursuant to authority granted by the City Council of the City Eureka, a Municipal Corporation, County of Humboldt, State of California, acting as The Eureka Redevelopment Agency Board, on June 7, 1994.

THE EUREKA REDEVELOPMENT AGENCY



JOHN E. ARNOLD
Executive Director

5.2.98

DATE

RECORDING REQUESTED BY:

Fidelity National Title Ins. Co.

**When Recorded Mail Document
and Tax Statement To:**

The City of Eureka
ATTEN: MARK RICARDS
531 "K" Street
Eureka, CA 95501

Escrow No. 199728-GK
Title Order No. 199728

1995-10719-2

Recorded — Official Records
Humboldt County, California
Carolyn Crnich, Recorder

Recorded by Fidelity National
Exempt from payment of fees
Clerk: MH Total: 0.00
May 3, 1995 at 10:00

SPACE ABOVE 1

APN: 1-011-12
JPN

GRANT DEED

The undersigned grantor(s) declare(s)

Documentary transfer tax is \$ COLLECTED UNDER DEED 1 (Deed 6 of 11)

- ☒ computed on full value of property conveyed, or
☐ computed on full value less value of liens or encumbrances remaining at time of sale,
☐ Unincorporated Area City of Eureka

**FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, BELLA BERKOVITCH, as Successor
Trustee of the MARTIN AND BELLA BERKOVITCH 1988 TRUST, who acquired title as MARTIN
AND BELLA BERKOVITCH 1988 TRUST**

hereby GRANT(S) to THE EUREKA REDEVELOPMENT AGENCY, a public body,
corporate and politic

the following described real property in the City of Eureka,
County of Humboldt State of California:

Parcel 11, as shown on Parcel Map No. 1852 on file in the Recorder's Office of Humboldt
County, in Book 16 of Parcel Maps, pages 57 through 61.

DATED: December 29, 1994

STATE OF CALIFORNIA

COUNTY OF San Mateo

ON February 28, 1995 before me,

the undersigned personally appeared

Bella Berkovitch

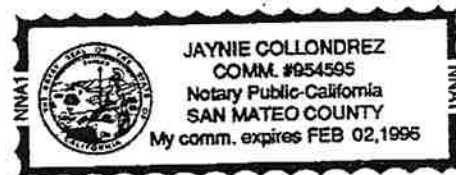
personally known to me (or proved to me on the basis of
satisfactory evidence) to be the person(s) whose name(s)
is/are subscribed to the within instrument and
acknowledged to me that he/she/they executed the same
in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s),
or the entity upon behalf of which the person(s) acted,
executed the instrument.

WITNESS my hand and official seal.

Signature

Jaynie Collondrez
my comm. expires 2/2/96

MAIL TAX STATEMENTS AS DIRECTED ABOVE



C E R T I F I C A T E O F A C C E P T A N C E

THIS IS TO CERTIFY that the interest in real property conveyed by the attached Grant Deed from BELLA BERKOVITCH, as Successor Trustee of the MARTIN AND BELLA BERKOVITCH 1988 TRUST, who acquired title as MARTIN AND BELLA BERKOVITCH 1988 TRUST to THE EUREKA REDEVELOPMENT AGENCY, a public body, corporate and politic, County of Humboldt, State of California, is hereby accepted by Grantee, and Grantee consents to the recordation thereof.

Such acceptance and consent to recordation are pursuant to authority granted by the City Council of the City Eureka, a Municipal Corporation, County of Humboldt, State of California, acting as The Eureka Redevelopment Agency Board, on June 7, 1994.

THE EUREKA REDEVELOPMENT AGENCY



JOHN E. ARNOLD
Executive Director

5.2.95

DATE

RECORDING REQUESTED BY:

Fidelity National Title Ins. Co.

**When Recorded Mail Document
and Tax Statement To:**

THE EUREKA REDEVELOPMENT AGENCY

ATTN: MARK RICARDS

531 "K" Street

Eureka, CA 95501

Escrow No. 199728-GK

Title Order No. 199728

1995-10720-2
Recorded — Official Records
Humboldt County, California
Carolyn Crnich, Recorder
Recorded by Fidelity National
Exempt from payment of fees
Clerk: MH Total: 0.00
May 3, 1995 at 10:00

SPACE ABOVE

APN: 1-011-12

JPN

GRANT DEED

The undersigned grantor(s) declare(s)

Documentary transfer tax is \$ COLLECTED UNDER DEED 1 (DEED 7 of 11)

[xx] computed on full value of property conveyed, or

[] computed on full value less value of liens or encumbrances remaining at time of sale,

[] Unincorporated Area City of Eureka

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

STANLEY W. CHEW and JUNE D. CHEW, Trustees UDT dated December 11, 1987,

hereby GRANT(S) to THE EUREKA REDEVELOPMENT AGENCY, a public body, corporate and politic

the following described real property in the City of Eureka,
County of Humboldt State of California:

Parcel 11, as shown on Parcel Map No. 1852 on file in the Recorder's Office of Humboldt
County, in Book 16 of Parcel Maps, pages 57 through 61.

DATED: December 29, 1994

STATE OF CALIFORNIA

COUNTY OF Contra Costa

ON February 28th, 1995 before me,

Carol Diane Stepanovich personally appeared

Stanley W. Chew and June D. Chew

Stanley W. Chew
STANLEY W. CHEW
June D. Chew
JUNE D. CHEW

personally known to me (or proved to me on the basis of
satisfactory evidence) to be the person(s) whose name(s)
is/are subscribed to the within instrument and
acknowledged to me that he/she/they executed the same
in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s),
or the entity upon behalf of which the person(s) acted,
executed the instrument.

WITNESS my hand and official seal.

Signature

Carol Diane Stepanovich

my comm. expires April 25, 1998

MAIL TAX STATEMENTS AS DIRECTED ABOVE




(1)

C E R T I F I C A T E O F A C C E P T A N C E

THIS IS TO CERTIFY that the interest in real property conveyed by the attached Grant Deed from STANLEY W. CHEW and JUNE D. CHEW, Trustees UDT dated December 11, 1987, to THE EUREKA REDEVELOPMENT AGENCY, a public body, corporate and politic, County of Humboldt, State of California, is hereby accepted by Grantee, and Grantee consents to the recordation thereof.

Such acceptance and consent to recordation are pursuant to authority granted by the City Council of the City Eureka, a Municipal Corporation, County of Humboldt, State of California, acting as The Eureka Redevelopment Agency Board, on June 7, 1994.

THE EUREKA REDEVELOPMENT AGENCY



JOHN E. ARNOLD
Executive Director

5.2.95

DATE

RECORDING REQUESTED BY:

Fidelity National Title Ins. Co.

**When Recorded Mail Document
and Tax Statement To:**

The City of Eureka
ATTEN: MARK RICARDS
531 "K" Street
Eureka, CA 95501

Escrow No. 199728-GK

Title Order No. 199728

1995-10721-2
Recorded — Official Records
Humboldt County, California
Carolyn Crnich, Recorder
Recorded by Fidelity National
Exempt from payment of fees
Clerk: MH Total: 0.00
May 3, 1995 at 10:00

SPACE ABOVE THIS

APN: 1-011-12

JPN

GRANT DEED

The undersigned grantor(s) declare(s)

Documentary transfer tax is \$ COLLECTED UNDER DEED 1 (DEED 8 of 11)

- ☒ [XX] computed on full value of property conveyed, or
☐ [] computed on full value less value of liens or encumbrances remaining at time of sale,
☐ [] Unincorporated Area City of

**FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, STANLEY W. CHEW and
JUNE D. CHEW, husband and wife**

hereby GRANT(S) to THE EUREKA REDEVELOPMENT AGENCY, a public body,
corporate and politic

the following described real property in the City of
County of Humboldt State of California:

Parcel 11, as shown on Parcel Map No. 1852 on file in the Recorder's Office of Humboldt
County, in Book 16 of Parcel Maps, pages 57 through 61.

DATED: January 03, 1995

STATE OF CALIFORNIA

COUNTY OF Contra Costa

ON February 28th, 1995 before me,
the undersigned personally appeared
Stanley W. Chew and June D. Chew

Stanley W. Chew
Stanley W. Chew
June D. Chew
June D. Chew

personally known to me (or proved to me on the basis of
satisfactory evidence) to be the person(s) whose name(s)
is/are subscribed to the within instrument and
acknowledged to me that he/she/they executed the same
in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s),
or the entity upon behalf of which the person(s) acted,
executed the instrument.

WITNESS my hand and official seal.

Signature

my comm. expires April 25, 1998



MAIL TAX STATEMENTS AS DIRECTED ABOVE

C E R T I F I C A T E O F A C C E P T A N C E

THIS IS TO CERTIFY that the interest in real property conveyed by the attached Grant Deed from STANLEY W. CHEW and JUNE D. CHEW, husband and wife to THE EUREKA REDEVELOPMENT AGENCY, a public body, corporate and politic, County of Humboldt, State of California, is hereby accepted by Grantee, and Grantee consents to the recordation thereof.

Such acceptance and consent to recordation are pursuant to authority granted by the City Council of the City Eureka, a Municipal Corporation, County of Humboldt, State of California, acting as The Eureka Redevelopment Agency Board, on June 7, 1994.

THE EUREKA REDEVELOPMENT AGENCY



JOHN E. ARNOLD
Executive Director

5.2.95

DATE

RECORDING REQUESTED BY:

Fidelity National Title Ins. Co.

When Recorded Mail Document
and Tax Statement To:

The City of Eureka
ATTEN: MARK RICARDS
531 "K" Street
Eureka, CA 95501

Escrow No. 199728-GK

Title Order No. 199728

1995-10722-2

Recorded — Official Records
Humboldt County, California
Carolyn Crnich, Recorder

Recorded by Fidelity National

Exempt from payment of fees
Clerk: MH Total: 0.00
May 3, 1995 at 10:00

SPACE ABOVE TH

APN: 1-011-12

JPN

GRANT DEED

The undersigned grantor(s) declare(s)

Documentary transfer tax is \$ COLLECTED UNDER DEED 1 (DEED 9 of 11)

[XX] computed on full value of property conveyed, or

[] computed on full value less value of liens or encumbrances remaining at time of sale,

[] Unincorporated Area City of

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, LEONARD OWEN ENTERPRISES, INC.

hereby GRANT(S) to THE EUREKA REDEVELOPMENT AGENCY, a public body,
corporate and politic

the following described real property in the City of Eureka,
County of Humboldt State of California:

Parcel 11, as shown on Parcel Map No. 1852 on file in the Recorder's Office of Humboldt
County, in Book 16 of Parcel Maps, pages 57 through 61.

DATED: January 03, 1995

STATE OF CALIFORNIA

COUNTY OF SAN MATEO

ON MARCH 13, 1995 before me,

H. Poloni - Notary Public, personally appeared
Leonard Owen

personally known to me (or proved to me on the basis of
satisfactory evidence) to be the person(s) whose name(s)
is/are subscribed to the within instrument and
acknowledged to me that he/she/they executed the same
in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s),
or the entity upon behalf of which the person(s) acted,
executed the instrument.

WITNESS my hand and official seal.

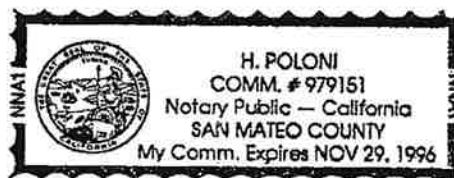
Signature

my comm. expires NOV. 29, 1996

MAIL TAX STATEMENTS AS DIRECTED ABOVE

LEONARD OWEN ENTERPRISES, INC.

BY:




C E R T I F I C A T E O F A C C E P T A N C E

THIS IS TO CERTIFY that the interest in real property conveyed by the attached Grant Deed from LEONARD OWEN ENTERPRISES, INC. to THE EUREKA REDEVELOPMENT AGENCY, a public body, corporate and politic, County of Humboldt, State of California, is hereby accepted by Grantee, and Grantee consents to the recordation thereof.

Such acceptance and consent to recordation are pursuant to authority granted by the City Council of the City Eureka, a Municipal Corporation, County of Humboldt, State of California, acting as The Eureka Redevelopment Agency Board, on June 7, 1994.

THE EUREKA REDEVELOPMENT AGENCY



JOHN E. ARNOLD
Executive Director

5.2.95
DATE

RECORDING REQUESTED BY:

Fidelity National Title Ins. Co.

**When Recorded Mail Document
and Tax Statement To:**

The City of Eureka
ATTEN: MARK RICARDS
531 "K" Street
Eureka, CA 95501

Escrow No. 199728-GK

Title Order No. 199728

1995-10723-3
Recorded — Official Records
Humboldt County, California
Carolyn Crnich, Recorder
Recorded by Fidelity National
Exempt from payment of fees
Clerk: MH Total: 0.00
May 3, 1995 at 10:00

APN: 1-011-12

JPN


GRANT DEED

The undersigned grantor(s) declare(s)

Documentary transfer tax is \$ COLLECTED UNDER DEED 1 (DEED 10 of 11)

- [XX] computed on full value of property conveyed, or
[] computed on full value less value of liens or encumbrances remaining at time of sale,
[] Unincorporated Area City of Eureka

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, LINCOLN TRUST COMPANY
~~BANK OF BEVERLY HILLS~~, as
Custodian FBO CARL A. KUHN, D.D.S. IRA


hereby GRANT(S) to THE EUREKA REDEVELOPMENT AGENCY, a public body,
corporate and politic

**the following described real property in the City of Eureka,
County of Humboldt State of California:**

Parcel 11, as shown on Parcel Map No. 1852 on file in the Recorder's Office of Humboldt
County, in Book 16 of Parcel Maps, pages 57 through 61.

LINCOLN TRUST COMPANY
~~BANK OF BEVERLY HILLS~~

DATED: January 03, 1995

STATE OF CALIFORNIA

COUNTY OF _____

ON _____ before me,
_____ personally appeared

personally known to me (or proved to me on the basis of
satisfactory evidence) to be the person(s) whose name(s)
is/are subscribed to the within instrument and
acknowledged to me that he/she/they executed the same
in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s),
or the entity upon behalf of which the person(s) acted,
executed the instrument.

WITNESS my hand and official seal.

Signature _____
my comm. expires _____

MAIL TAX STATEMENTS AS DIRECTED ABOVE

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

No. 5907

State of COLORADO

County of ARAPAHOE

On March 10, 1995 before me, ANNIE A SIGETY, NOTARY PUBLIC
DATE NAME, TITLE OF OFFICER - E.G., "JANE DOE, NOTARY PUBLIC"

personally appeared GEORGANNA ROYBAL
NAME(S) OF SIGNER(S)

☐ personally known to me - OR - ☒ proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is are subscribed to the within instrument and acknowledged to me that he/she they executed the same in his/her their authorized capacity(ies), and that by his/her their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



WITNESS my hand and official seal.

[Signature]
SIGNATURE OF NOTARY

OPTIONAL

Though the data below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent reattachment of this form.

CAPACITY CLAIMED BY SIGNER

- ☐ INDIVIDUAL
☐ CORPORATE OFFICER

- TITLE(S)
☐ PARTNER(S) ☐ LIMITED
☐ ATTORNEY-IN-FACT ☐ GENERAL
☐ TRUSTEE(S)
☐ GUARDIAN/CONSERVATOR
☒ OTHER: CUSTODIAN; MANAGER
OF LINCOLN TRUST COMPANY

SIGNER IS REPRESENTING:
NAME OF PERSON(S) OR ENTITY(IES)

DESCRIPTION OF ATTACHED DOCUMENT

TITLE OR TYPE OF DOCUMENT

NUMBER OF PAGES

DATE OF DOCUMENT

SIGNER(S) OTHER THAN NAMED ABOVE

C E R T I F I C A T E O F A C C E P T A N C E

THIS IS TO CERTIFY that the interest in real property conveyed by the attached Grant Deed from LINCOLN TRUST COMPANY, as Custodian FBO CARL A. KUHN, D.D.S. IRA to THE EUREKA REDEVELOPMENT AGENCY, a public body, corporate and politic, County of Humboldt, State of California, is hereby accepted by Grantee, and Grantee consents to the recordation thereof.

Such acceptance and consent to recordation are pursuant to authority granted by the City Council of the City Eureka, a Municipal Corporation, County of Humboldt, State of California, acting as The Eureka Redevelopment Agency Board, on June 7, 1994.

THE EUREKA REDEVELOPMENT AGENCY



JOHN E. ARNOLD
Executive Director

5.2.95
DATE

REQUESTED BY:

Fidelity National Title Ins. Co.

When Recorded Mail Document
and Tax Statement To:

The City of Eureka
ATTEN: MARK RICARDS
531 "K" Street
Eureka, CA 95501

Escrow No. 199728-GK

Title Order No. 199728

1995-10724-3

Recorded — Official Records
Humboldt County, California

Carolyn Crnich, Recorder

Recorded by Fidelity National

Exempt from payment of fees
Clerk: MH Total: 0.00
May 3, 1995 at 10:00

APN: 1-011-12

JPN

SPACE ABOVE

GRANT DEED

The undersigned grantor(s) declare(s)

Documentary transfer tax is \$ COLLECTED UNDER DEED 1 (DEED 11 of 11)

- [XX] computed on full value of property conveyed, or
[] computed on full value less value of liens or encumbrances remaining at time of sale,
[] Unincorporated Area City of Eureka

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, EMBARCADERO MORTGAGE FUND II,
a California limited partnership

hereby GRANT(S) to THE EUREKA REDEVELOPMENT AGENCY, a public body,
corporate and politic

the following described real property in the City of Eureka
County of Humboldt State of California:

Parcel 11, as shown on Parcel Map No. 1852 on file in the Recorder's Office of Humboldt
County, in Book 16 of Parcel Maps, pages 57 through 61.

DATED: December 29, 1994

STATE OF CALIFORNIA

COUNTY OF ALAMEDA

ON 3-14-95 before me,
CJ GEARING, personally appeared
ROBERT CUSHMAN

EMBARCADERO MORTGAGE FUND II
a California limited partnership

BY: Robert Cushman
EMBARCADERO MORTGAGE FUND II PARTNERS
GENERAL PARTNER

personally known to me (or proved to me on the basis of
satisfactory evidence) to be the person(s) whose name(s)
is/are subscribed to the within instrument and
acknowledged to me that he/she/they executed the same
in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s),
or the entity upon behalf of which the person(s) acted,
executed the instrument.

WITNESS my hand and official seal.

Signature [Signature] my comm. expires 4/22/98

MAIL TAX STATEMENTS AS DIRECTED ABOVE

STATE OF CALIFORNIA

COUNTY OF ALAMEDA

On this 14 day of MARCH in year of 1995
before me, the undersigned, a Notary Public in and for the State of
California, duly commissioned and sworn, personally appeared

Robert Costman
personally known to me or proved to me on the basis of satisfactory
evidence to be the person(s) whose name(s) is/are subscribed to the
within instrument and acknowledged to me that he/she/they executed
the same in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s), or the
entity upon behalf of which the person(s) acted, executed the
instrument.

WITNESS my hand and official seal.

C. J. Gehring
Notary Public in and for said State

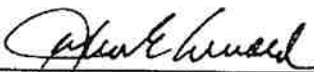


C E R T I F I C A T E O F A C C E P T A N C E

THIS IS TO CERTIFY that the interest in real property conveyed by the attached Grant Deed from EMBARCADERO MORTGAGE FUND II, a California limited partnership to THE EUREKA REDEVELOPMENT AGENCY, a public body, corporate and politic, County of Humboldt, State of California, is hereby accepted by Grantee, and Grantee consents to the recordation thereof.

Such acceptance and consent to recordation are pursuant to authority granted by the City Council of the City Eureka, a Municipal Corporation, County of Humboldt, State of California, acting as The Eureka Redevelopment Agency Board, on June 7, 1994.

THE EUREKA REDEVELOPMENT AGENCY



JOHN E. ARNOLD
Executive Director

5.2.98

DATE

1995-10724-3

③

2576
RECORDED AT REQUEST OF
Western Title Insurance Co.
VOL. 1631 OFFICIAL RECORDS PG 1239
DEC 31 12 35 PM 1980

CD#886
A/P#1-011-15
DOCUMENT RECORDED AT THE REQUEST OF
AND WHEN RECORDED RETURN TO:
The City of Eureka

HUMBOLDT COUNTY RECORDS
CHANCE JACKSON, RECORDER
DEPUTY
FEE \$ none
(3)

John L. Cook
City Attorney
Post Office Box 1018
Eureka, California 95501

(City of Eureka
Official Business)
(Document Entitled to
Free Recordation
Pursuant to Government
Code Section 6103)

QUITCLAIM AND
RELINQUISHMENT OF
INTERESTS IN REAL PROPERTY

WHEREAS, on August 26, 1980, under authority of Chapter 1085 of the Statutes of 1970 (hereinafter referred to as "Chapter 1085"), and as a part of the settlement of litigation concerning waterfront properties in the City of Eureka, the State Lands Commission approved the Settlement Agreement dated ~~RECORDED~~ 12-31-80 and authorized the settlement of the title and boundary disputes between the City of Eureka, and owners of Humboldt Bay waterfront properties situated in the City of Eureka, in the area between Commercial Street and K Street, with respect to certain lands in said area, to be effected, in part, by a confirmation by the parties of titles to certain lands and by an exchange of lands and interests therein, between the City of Eureka, and Thomas Lazio and Annetta Lazio, his wife as joint tenants; and

WHEREAS, on August 26, 1980, the California State Lands Commission, in accordance with said Chapter 1085, approved, among other things, the agreement for said settlement ("Settlement Agreement"), the conveyances to be made, and the consideration to be given pursuant to said settlement; and

WHEREAS, the undersigned have agreed to quitclaim certain property interests, claimed by the undersigned, as a part of the consideration for said settlement;

NOW, THEREFORE, for and in consideration of the foregoing premises and other valuable consideration, the receipt and adequacy of which are hereby acknowledged, and in accordance with the Settlement Agreement, and pursuant to Chapter 1085 of the Statutes of 1970 which provides, in part, for the settlement of disputes concerning title to and the boundaries of tide and submerged lands in the southern

Deed

portion of Humboldt Bay, THOMAS LAZIO and ANNETTA LAZIO, his wife as joint tenants, do hereby surrender, relinquish, remise, release and forever quitclaim to THE CITY OF EUREKA, a municipal corporation, as trustee of the public trust for navigation, fisheries and commerce, and pursuant to Chapter 438 of the Statutes of 1915, Chapter 187 of the Statutes of 1927, Chapter 225 of the Statutes of 1945 and Chapter 1086 of the Statutes of 1970, all of their rights, title and interests in and to that certain real property situated in the County of Humboldt, State of California, described in Exhibit A attached hereto, and by this reference for all purposes incorporated herein.

IN WITNESS WHEREOF, the undersigned have executed this deed this 11th day of DECEMBER, 1980.



Thomas Lazio
Annetta Lazio

STATE OF CALIFORNIA
COUNTY OF MARIN

}
SS.

On this 11 day of December, 1980, before me the undersigned, a notary public in and for the County of San Francisco, State of California, personally appeared THOMAS LAZIO, known to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal on the day and year in the certificate first above written.



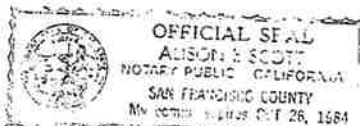
Alison E. Scott
Notary Public in and for the
County of San Francisco,
State of California

STATE OF CALIFORNIA
COUNTY OF MARIN

}
SS.

On this 11 day of December, 1980, before me the undersigned, a notary public in and for the County of San Francisco, State of California, personally appeared ANNETTA LAZIO, known to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal on the day and year in the certificate first above written.



Alison E. Scott
Notary Public in and for the
County of San Francisco,
State of California

All that real property situated in the City of Eureka,
County of Humboldt, State of California described as follows:

All that portion of the hereinafter described parcel
which is situated northerly of the Agreed Waterfront Boundary
Line as shown on the Official State Lands Commission Map of
the Eureka City waterfront (BLA 199), Record of Survey for
the City of Eureka, filed in the Office of the County Recorder
of Humboldt County on 9-27, 1980, in Book 38
of Surveys at Page 46-51:

COMMENCING at the point where a continuation of the
West line of C Street of the City of Eureka intersects the
United States Government Pierhead Line of Humboldt Bay;
and running thence South 78 degrees 56 minutes 5 seconds
West 180.001 feet along said Pierhead Line;
thence South 10 degrees 45 minutes East (parallel with
said West line of C Street) 294.58 feet to a point on the
North line of First Street 180 feet Westerly thereon from
the Northwest corner of the intersection of First and C
Streets of the City of Eureka;
thence North 56 degrees 38 minutes East 195 feet to a
point on the West line of C Street distant 75 feet Northerly
thereon from the Northwest corner of the intersection of
First and C Streets;
and thence North 10 degrees 45 minutes West 216.71 feet
along the West line of C Street to the point of commencement.

EXHIBIT A

END OF DOCUMENT

25572
25572
RECORDED AT REQUEST OF
Western Title Insurance Co.
VOL. 1631. OFFICIAL RECORDS PG 1226
Dec 31 12 35 PM 1980

00# 889
A/P#1-011-13
DOCUMENT RECORDED AT THE REQUEST OF
AND WHEN RECORDED RETURN TO:
The City of Eureka

HUMBOLDT COUNTY RECORDS
GRACE JACKSON, RECORDER
DEPUTY
FEE \$ none

John L. Cook
City Attorney
Post Office Box 1018
Eureka, California 95501

(City of Eureka
Official Business)
(Document Entitled to
Free Recordation
Pursuant to Government
Code Section 6103)

QUITCLAIM AND
RELINQUISHMENT OF
INTERESTS IN REAL PROPERTY

WHEREAS, on August 26, 1980, under authority of Chapter 1085 of the Statutes of 1970 (hereinafter referred to as "Chapter 1085"), and as a part of the settlement of litigation concerning waterfront properties in the City of Eureka, the State Lands Commission approved the Settlement Agreement dated RECORDED 12/1/80 and authorized the settlement of the title and boundary disputes between the City of Eureka, and owners of Humboldt Bay waterfront properties situated in the City of Eureka, in the area between Commercial Street and K Street, with respect to certain lands in said area, to be effected, in part, by a confirmation by the parties of titles to certain lands and by an exchange of lands and interests therein, between the City of Eureka, and Stephanie Cincotta and Lawrence Lazio; and

WHEREAS, on August 26, 1980, the California State Lands Commission, in accordance with said Chapter 1085, approved, among other things, the agreement for said settlement ("Settlement Agreement"), the conveyances to be made, and the consideration to be given pursuant to said settlement; and

WHEREAS, the undersigned have agreed to quitclaim certain property interests, claimed by the undersigned, as a part of the consideration for said settlement;

NOW, THEREFORE, for and in consideration of the foregoing premises and other valuable consideration, the receipt and adequacy of which are hereby acknowledged, and in accordance with the Settlement Agreement, and pursuant to Chapter 1085 of the Statutes of 1970 which provides, in part, for the settlement of disputes concerning title to and the boundaries of tide and submerged lands in the southern

portion of Humboldt Bay, STEPHANIE CINCOTTA and LAWRENCE LAZIO do hereby surrender, relinquish, remise, release and forever quitclaim to THE CITY OF EUREKA, a municipal corporation, as trustee of the public trust for navigation, fisheries and commerce, and pursuant to Chapter 438 of the Statutes of 1915, Chapter 187 of the Statutes of 1927, Chapter 225 of the Statutes of 1945 and Chapter 1086 of the Statutes of 1970, all of their rights, title and interests in and to that certain real property situated in the County of Humboldt, State of California, described in Exhibit A attached hereto, and by this reference for all purposes incorporated herein.

IN WITNESS WHEREOF, the undersigned have executed this deed this 28th day of OCTOBER, 1980.


Stephanie Cincotta

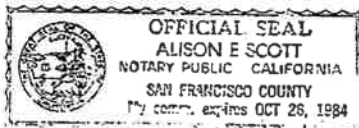
STATE OF CALIFORNIA


COUNTY OF MAYN

ss.

On this 11 day of December, 1980, before me the undersigned, a notary public in and for the County of San Francisco State of California, personally appeared Stephanie Cincotta, known to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal on the day and year in the certificate first above written.




Notary Public in and for the
County of San Francisco
State of California

STATE OF CALIFORNIA


COUNTY OF Humboldt

ss.

On this 28th day of October, 1980, before me the undersigned, a notary public in and for the County of Humboldt, State of California, personally appeared Lawrence Lazio, known to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal on the day and year in the certificate first above written.




Notary Public in and for the
County of Humboldt,
State of California

All that real property situated in the City of Eureka,
County of Humboldt, State of California described as follows:

All that portion of the hereinafter described parcel
which is situated northerly of the Agreed Waterfront Boundary
Line as shown on the Official State Lands Commission Map of
the Eureka City waterfront (BLA 199), Record of Survey for
the City of Eureka, filed in the Office of the County Recorder
of Humboldt County on 9-23, 1980, in Book 38
of Surveys at Page 46-51:

Bounded on the East by a line parallel with the West
line of "C" Street and Distant 180 feet Westerly (measured
at a right angle) from the West line of "C" Street;

Bounded on the North by the former North Boundary of
the corporate limits of the Town of Eureka, as established
in 1856, same being then described as a line 100 yards North
of First Street;

Bounded on the West by the East line of the land conveyed
to The Borden Company by Deed recorded August 24, 1945 in
the County Recorder's Office;

Bounded on the South by the North line of the strip of
land occupied by Northwestern Pacific Railroad Company, as
its right of way and evidenced by instruments of record
running to the Railroad Company of its predecessors.

(The hereinabove described parcel includes those portions
denominated as "Parcel 10", "Parcel 11" and "Parcel 12" on
the Official State Lands Commission Map (BLA 199), Parcel
Map No. 1852 for the City of Eureka, filed in the
office of the County Recorder of Humboldt County on Dec 31,
1980, in Book 16 of Parcel Maps at Page 575-61.)

EXHIBIT A

END OF DOCUMENT

LACO

EUREKA • UKIAH • SANTA ROSA

1-800-515-5054 www.lacoassociates.com

PROJECT FISHERMAN'S TERMINAL PILING REPLACEMENT

BY CRP

FIGURE

FIG. 1

CLIENT CITY OF EUREKA

CHECK MMM

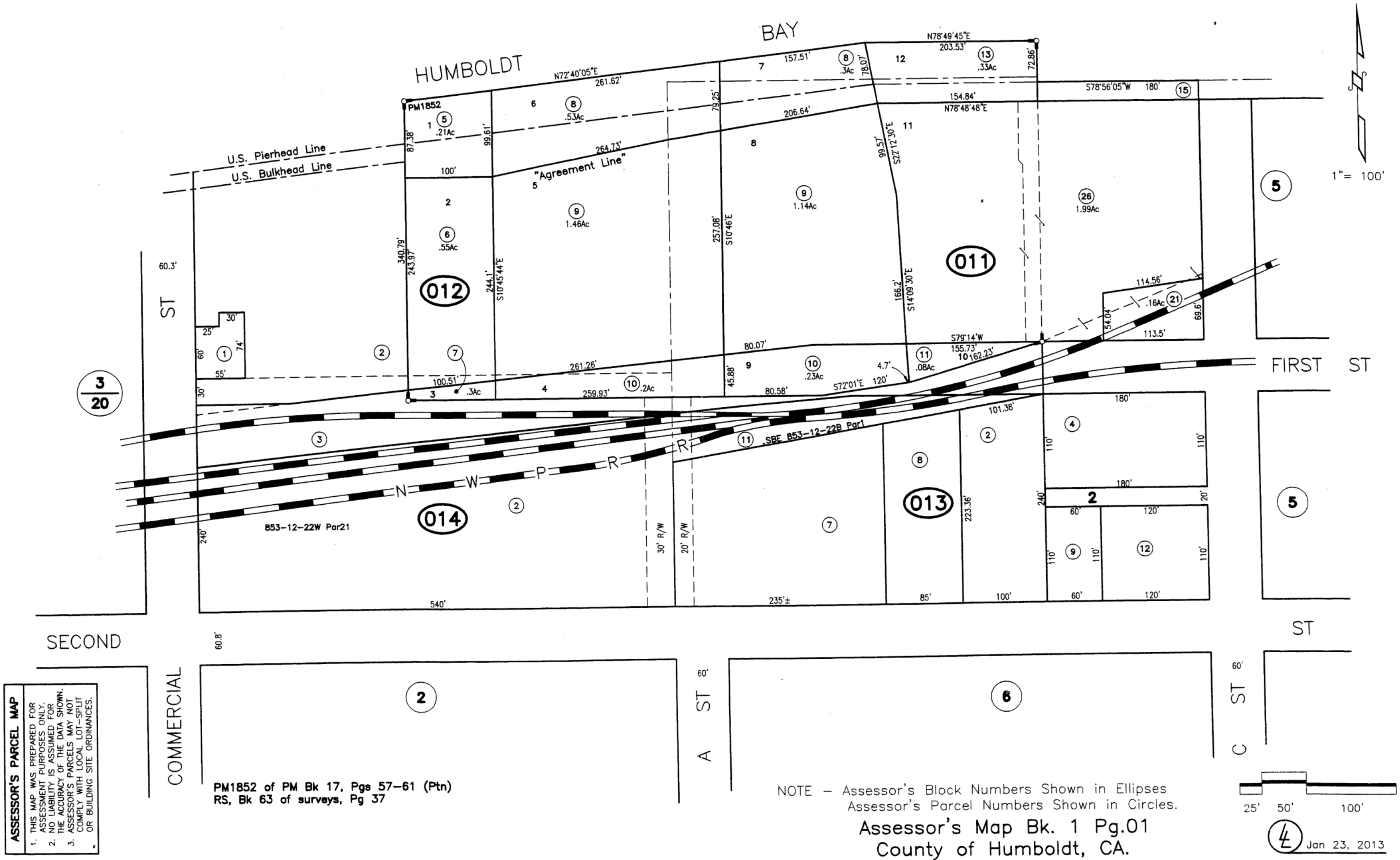
LOCATION 4 C STREET, EUREKA, HUMBOLDT COUNTY

DATE 4/20/2021

JOB NO.

8247.18





Preliminary Engineering Report

Fisherman's Terminal - Fender Piling Replacement Project Eureka, California

November 2021

Prepared for:
City of Eureka

Prepared By:
LACO Associates, Inc
21 West Fourth Street
Eureka, California 95501
707-443-5054

Project No. 8247.18

LACO

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Rodney Wilburn, PE
Principal Engineer
Lic. No. 69388, Exp. 6/30/22



Jordan Blough, Project Manager

TABLE OF CONTENTS

Introduction and Scope	1
1.0 Project Background	1
2.0 Description of Project Components and Proposed Construction	2
3.0 Feasibility Analysis.....	2
3.1 Design and Construction Alternatives	2
3.1.1 Alternative Designs	2
3.1.2 No Project Alternative	3
4.0 Method of Construction and Permitting	3
5.0 Contracting and Work Distribution.....	5
6.0 Preliminary Itemized Cost of Work	5
6.1 Preliminary Cost Estimate	5
7.0 Real Property Acquisition.....	5
8.0 Permitting Agencies and Jurisdictional Authorities ...	5
8.1 City of Eureka	5
8.2 Humboldt Bay Harbor, Recreation, and Conservation District	5
8.3 California Department of Fish and Wildlife	6
8.4 North Coast Regional Water Quality Control Board	6
8.5 U.S. Army Corps of Engineers	6
8.6 California Coastal Commission.....	6
9.0 Project Schedule	6
10.0 Overall Project Budget Breakdown.....	7
Appendix 1	

INTRODUCTION AND SCOPE

The City of Eureka is an incorporated city located on the shores of Humboldt Bay in Humboldt County, California. The City maintains a variety of infrastructure to support residents and visitors including waterfront infrastructure to support commercial, industrial, and recreational uses reliant upon access to Humboldt Bay.

The Fisherman's Terminal building, located along the waterfront at the northern terminus of C Street in Eureka, was completed in 2011 using funding from the United States Economic Development Agency (EDA), the California Coastal Conservancy, federal stimulus grants, and City of Eureka redevelopment funding. This facility serves as a hub for both local and non-local commercial fisherman operating in and around Humboldt Bay pursuing products such as crab, groundfish, salmon, and albacore to load necessary gear onto their vessels and offload their catch after returning from sea for either direct sale to consumers and local restaurants or delivery to processing facilities. Fisherman's Terminal provides a quay with adequate depth for commercial fishing vessels to approach, along with cranes to lift equipment and product. When constructed, Fisherman's Terminal included 40, 14-inch diameter fender pilings which provided vessels protection from drifting into or under the quay while loading or unloading. Since its construction, these fender pilings have begun to fail at an alarming rate, and the facility is on the brink of becoming unusable, with virtually all of the existing pilings either missing or degraded to the point that they are no longer anchored below the waterline. In order to maintain the facility, the City of Eureka proposes to remove all forty existing failed or failing fender pilings and replace them with new, composite fender pilings in the same location as the failed pilings.

The Fisherman's Terminal Piling Repair project will allow the facility to continue functioning as a key hub of the region's commercial fishery by providing a safe and convenient location for fishermen to load and unload equipment and product from their vessels.

1.0 PROJECT BACKGROUND

Fisherman's Terminal houses a local seafood company, South Bend Products, along with Jack's Seafood Café, a waterfront restaurant that draws some of its appeal from its location, allowing patrons to observe the offloading of commercial fishing boats while dining on local seafood. Fisherman's Terminal is used by boats fishing in the Humboldt Bay region regardless of their port of origin, and boats from Washington state in the north and San Diego in the south call at Fisherman's Terminal to offload product which is then shipped to processing facilities. Fisherman's Terminal is the only place on Humboldt Bay where drag boats can load and unload their gear, and the terminal operator estimates that every boat in the Humboldt Bay commercial fishing fleet unloads at this facility at some point during the season (J. Huffmon, personal communication, July 2021). The facility is also used to offload oysters cultivated using mariculture techniques, highlighting the variety of products produced in Humboldt Bay which this facility supports.

The degraded condition of the existing fender pilings threatens the viability of all businesses on-site, as well as the economic vitality of numerous other commercial fishermen who use the facility to offload for distribution to other processors throughout the west coast, as Fisherman's Terminal is one of only two offloading facilities within Humboldt Bay and one of the most convenient, given the proximity to the two harbors/marinas on Humboldt Bay, Eureka Public Marina (approximately 0.30 miles away) and Woodley Island Marina (approximately 0.32 miles away). The terminal operator estimates that 50% of the total annual catch by the commercial fishing industry in the Humboldt Bay region offloads through Fisherman's Terminal.

While the level of seasonal employment required locally to staff the Terminal fluctuates, on average approximately 35 individuals are employed to support the facility directly, while virtually all employees of the 50-100 commercial fishing vessels active on Humboldt Bay use the Terminal to offload their catch. In years when the fishery is most productive, up to 75 part-time employees staff the facility (J. Huffmon, Personal Communication, July 2021). In its existing, degraded state, the fender pilings directly adjacent to the quay hoists are missing, making loading, and unloading gear and offloading the day's catch dangerous for fishermen, quay workers, and their vessels.

2.0 DESCRIPTION OF PROJECT COMPONENTS AND PROPOSED CONSTRUCTION

A set of draft design plans depicting the scope of work is included as Appendix 1 of this report. The design drawings depict the removal of 40 existing 14-inch failing or failed wooden pilings and associated connections and the installation of 40 new 14-inch composite (fiberglass and non-leaching high-density plastic) fender pilings and connectors along the existing quay face in the same locations as the existing wooden pilings. These new fender pilings will serve to protect both the quay structure and vessels using the facility from damage during mooring and equipment loading and unloading.

The project will be constructed during one construction season proposed to begin in May 2022. The construction will utilize a nearby parking lot as a project staging area and will likely store and use heavy machinery, including crane equipment, a barge, and a pile driver for the installation of the new pilings and the removal of the existing pilings. Pilings that are submerged at low tide will be removed from the quay using a crane or other equipment that can safely lift the pilings and load them on a truck for disposal. The pilings that are visible during low tide will be removed by way of vibration using a large vessel such as a barge positioned in the water adjacent to the quay. The project components described in this section are consistent with the EDA investment project description provided in Section B.2 of Form ED-900 of the associated funding application.

3.0 FEASIBILITY ANALYSIS

The proposed project area is the existing facility, and no expansion of the facility is included in the proposed scope of work. The proposed pilings are replacing the existing pilings in approximately the same location. Much of the project can be completed from the existing quay and whatever can't be accessed from land can be accomplished from the water using a barge. Construction for the project will occur between June 15 and October 15, which will be the best weather conditions for the Eureka area along Humboldt Bay. The tidal changes in the water surface elevation and weather conditions can impact construction and demolition, so additional time has been built into the construction schedule to allow for these challenges.

3.1 Design and Construction Alternatives

3.1.1 Alternative Designs

Design alternatives were considered during the scoping and preparation of the draft design plans. These alternatives included the construction of new concrete pilings with rubberized interfaces and the installation of new, treated wood pilings. In the evaluation of alternatives, consideration was given to 1) the ease of

construction; 2) the useful life and/or the durability of the material. The challenges to construction related to tide and the weather were touched on in the previous section and given those constraints combined with the limited space and access, ease of construction was considered very important. Because ships will be tied off to the terminal and have direct contact with the pilings and the natural destructive nature of saltwater, tidal changes, currents, and waves, durability was considered equally important.

The concrete pilings alternative was eliminated from consideration as an alternative primarily due to the difficulties associated with construction. To pour the foundation, the area would likely have to be dewater using cofferdams and this would create potential issues related to environmental impacts and mitigation. This would require additional environmental studies and analysis to fully understand the impacts, mitigation, and monitoring requirements. This additional analysis along with the construction mitigation and monitoring would likely increase the cost of the project and extend the project schedule. The durability of concrete pilings for this application was also in question based on the continuous contact with salt water, the rigid surface contacting ships and other vessels, and the continuous exposure to moist, coastal air conditions.

The replacement with new wood pilings alternatives was eliminated from consideration primarily based on the useful life and durability. The wood pilings could also be re-installed along the quay much in the same fashion as the proposed construction, but replacement would likely be necessary within 5-10 years.

3.1.2 No Project Alternative

The no project alternative would leave the existing, failing and failed wooden pilings in place with no improvements or repairs. The existing pilings would continue to deteriorate, with fewer pilings available for mooring over time. Vessels would continue to be susceptible to drifting under the quay at low tide if tied off to the pilings, some of which appear intact at high tide but are rotted through and no longer connected below the water level. This safety issue would arise even if a ship is tied off to the concrete quay. Eventually, the quay would no longer be functional for the commercial fishermen who use it to load and unload both equipment and the day's catch, requiring those businesses to use other facilities for this purpose. As catches are processed at the Fisherman's Terminal facility, using other facilities to offload the day's catch would require transport of the catch back to Fisherman's Terminal, significantly impacting both the cost and timeline for bringing the catch to market. Fisherman's Terminal also contains a restaurant and other amenities intended to increase tourism on the Eureka waterfront, and a key component of this attraction is the Terminal's status as a working quay. If the Terminal cannot function as intended, both the Terminal itself and the businesses which operate from it will see significant economic impacts. The no project alternative would leave a facility that was completed in 2011 non-functional well before the end of its anticipated useful life.

4.0 METHOD OF CONSTRUCTION AND PERMITTING

Generally, the sequence of work will be determined by the contractor awarded the construction contract, but the following is a typical description of how the scope of work could be sequenced and completed.

The removal of the existing pilings can be separated into three categories: 1) the removal of the pilings that are one continuous wood member that is embedded in the ground; 2) the removal of the upper portion of the pilings that have rotted completely through and the upper portion is hanging from the edge of the quay;

3) the removal of the lower section of the pilings that have rotted completely through and the lower portion is remains embedded in the ground.

To remove the existing pilings that are one continuous wood member, the connection hardware including bolts and brackets would first be removed and then the piling would be removed using a vibratory extractor from either a barge or a crane positioned on the quay.

For removal of the upper portion of those pilings that have rotted into two pieces, the piling would first have to be secured by an appropriate strap or chain that is held in place by a crane or large excavator. Next, all the connection hardware would have to be removed and the upper portion of the piling would swing away from the quay while hanging by the strap or chain. Special precautions would be necessary to ensure that the piling section did not swing back against the quay with enough force to cause damage.

Removing the sections of pilings still embedded in the ground, but not connected to the quay could be challenging given the fact that the upper ends of these pilings have completely rotted through. For the vibratory extractor to effectively grip the piling for removal, there must be enough solid piling remaining that has the strength to withstand the upward pressure and vibration applied by the extractor. This will also require a low enough tide to reveal the remainder of the piling in some instances.

As the pilings are removed, they would be placed directly on a truck and transported to an approved and legally permitted disposal site or facility. The pilings that are still one continuous member, or other longer sections of the existing pilings, may need to be cut into smaller pieces to fit on the truck for transport.

The new fiberglass and PVC pilings installed in the same location a vibratory hammer or similar pile driving mechanism and will be connected subsequently to the quay using an engineered bracket and bolting system. It is important to note that all pilings are nonstructural and free-standing so the engineered connection will be designed to withstand lateral movement and impacts but not to carry a vertical load.

Pipe caps will then be installed atop the proposed pilings and through bolts will be attached to the plastic lumber interface. New wales will be attached below the top of the quay along piles horizontally to protect ships from being pushed under the quay.

Finally, the damaged beams attached to the "leading" edge of the quay will be replaced with plastic lumber and attached with bracket and bolt connections to the new plastic lumber interface. The lumber interface will be bolted directly into the existing quay deck.

No waste will enter the bay during or after construction.

The proposed improvements will be designed by an engineering consultant as selected by the City of Eureka per an RFP process consistent with funding guidelines. Once plans and specifications are prepared by the consultant and approved by the City of Eureka, the California Coastal Commission, the North Coast Regional Water Quality Board, and the U.S. Army Corps of Engineers, the project will be advertised through the public bidding process. Upon receiving competitive sealed bid(s) from a qualified contractor, a construction contract shall be awarded by the City of Eureka. The project is not a design/build project. City staff will be used for contract management and project oversight capacities; this is expected to not be a significant portion of the total construction cost. The design consultant will perform materials testing and quality control as well as survey verification services during construction. The project will be designed and constructed in one phase.

5.0 CONTRACTING AND WORK DISTRIBUTION

Currently, one construction contract is anticipated. If the final design results in a project which may require multiple construction contracts, the applicant will confer promptly with EDA to determine the appropriate path forward and ensure that budget documents adequately reflect the proposed contracting structure.

6.0 PRELIMINARY ITEMIZED COST OF WORK

6.1 Preliminary Cost Estimate

The preliminary opinion of probable construction costs is provided below listing the major categories of construction for the piling replacement project.

Fisherman's Terminal Piling Replacement Project					
Preliminary Itemized Cost of Work					
		Unit	Quantity	Unit Cost	Cost
1	Mobilization, Demobilization, Insurance and Permitting	LS	1	\$ 60,000	\$ 60,000
2	Demolition	LS	1	\$ 115,400	\$ 115,400
3	Install Pilings	EA	40	\$ 13,400	\$ 536,000
4	Install Wales	LS	1	\$ 31,100	\$ 31,100
				Total	\$ 742,500

7.0 REAL PROPERTY ACQUISITION

No real property acquisition will be required for this project.

8.0 PERMITTING AGENCIES AND JURISDICTIONAL AUTHORITIES

8.1 City of Eureka

The proposed development meets all zoning requirements of the City and needs no local permits.

8.2 Humboldt Bay Harbor, Recreation, and Conservation District

The District is a county-wide agency with permit jurisdiction over all tidelands, submerged lands, and other lands granted to the District, including all of Humboldt Bay. The City of Eureka may be able to receive an emergency permit for the repairs to the Fisherman's Terminal Quay.

8.3 California Department of Fish and Wildlife (CDFW)

CDFW, in its administration of the California Endangered Species Act (CESA), requires an Incidental Take Permit (ITP) for "take" of listed species incidental to otherwise lawful development projects. The City will need to consult with CDFW on the project but will likely not need a permit.

8.4 North Coast Regional Water Quality Control Board

The Regional Board requires a Water Quality Certification (WQC) for projects involving dredging and/or filling activities under Section 401 of the Clean Water Act. The City of Eureka anticipates it will require a 401 Water Quality Certification from the Regional Board for the project.

8.5 U.S. Army Corps of Engineers

The Corps has regulatory authority over the proposed project under Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. 1344) which regulates work occurring below the plane of mean high water in tidal waters of the United States, including construction of structures, excavation, dredging, and discharges of dredged or fill material. Pursuant to Section 10 of the Rivers and Harbors Act, the proposed project is anticipated to receive authorization under Department of the Army Nationwide Permit 3 (Maintenance).

8.6 California Coastal Commission

The California Coastal Commission has permit jurisdiction under section 13050 of the California Code of Regulations for any development inside and outside the coastal zone including any structure. A coastal development permit will be required for the project. The City anticipates an expedited review and authorization of the project.

9.0 PROJECT SCHEDULE

The grant-funded portions of this project will be initiated within 7 days of the execution of a grant agreement with EDA. The project permitting process will continue during EDA's review of the funding application and the City anticipates having permit documents in hand upon EDA grant award.

Task	Duration
Procure Design Consultant	45 days
Final Design Documents	45 days
Project Bidding	30 days
Project Award	15 days
Project Construction	30 days

10.0 OVERALL PROJECT BUDGET BREAKDOWN

City of Eureka				
Fisherman's Terminal Piling Replacement Project				
Overall Project Budget Breakdown				
COST CLASSIFICATION		a. Total Cost	b. Costs Not Allowable for Participation	c. Total Allowable Costs
1	Administrative and legal expense	\$ 10,000	\$ -	\$ 10,000
2	Land, structures, rights-of-way, appraisals, etc.	\$ -	\$ -	\$ -
3	Relocation expenses and payments	\$ -	\$ -	\$ -
4	Architectural and engineering fees	\$ 30,000	\$ -	\$ 30,000
5	Other architectural and engineering fees	\$ 20,000	\$ -	\$ 20,000
6	Project inspection fees	\$ 10,000	\$ -	\$ 10,000
7	Site work	\$ -	\$ -	\$ -
8	Demolition and removal	\$ 115,400	\$ -	\$ 115,400
9	Construction	\$ 627,100	\$ -	\$ 627,100
10	Equipment	\$ -	\$ -	\$ -
11	Miscellaneous	\$ -	\$ -	\$ -
12	SUBTOTAL	\$ 812,500	\$ -	\$ 812,500
13	Contingencies	\$ -	\$ -	\$ -
14	SUBTOTAL	\$ 812,500	\$ -	\$ 812,500
15	Project (program) income	\$ -	\$ -	\$ -
16	TOTAL PROJECT COSTS	\$ 812,500	\$ -	\$ 812,500

APPENDIX 1

30% Design Drawings

**COUNTY OF HUMBOLDT, CITY OF EUREKA
EUREKA, CA**



SHEET NUMBER	SHEET TITLE
C0.0	CIVIL TITLE SHEET
C0.1	CIVIL LEGEND & ABBREVIATIONS
C0.2	CIVIL GENERAL NOTES
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C2.0	PILE CONNECTION PLAN

[illegible]

FISHERMAN'S TERMINAL PILE REPLACEMENT
CITY OF EUREKA
4 C STREET, CA 95453

CIVIL TITLE SHEET

DRAWN	CSC
CHECK	JC
APPROVED	RLW
DATE	TB
JOB NUMBER	8247.18
DRAWING	C0.0

**DRAFT - 30% DESIGN
NOT FOR CONSTRUCTION**

LEGEND

PROPOSED	EXISTING	
		BENCH MARK
		RADIUS POINT
		CONCRETE
		PAVEMENT
		LIGHT POST
		GUY WIRE
		FENCE
		PROPERTY LINE
		EASEMENT LINE
		CENTERLINE
		ELEVATION MARKER
		PROPERTY CORNER
		SURVEY MONUMENT
		CONTROL POINT
		CYCLONE FENCE
		BUILDING LINE
		ELECTRICAL CONDUIT
		WATER VALVE
		14" FENDER PIER
		PLASTIC
		WATER METER
		WATER LINE
		CONSTRUCTION STAGING AREA
		GENERAL SITE AREA
		AREA OF IMPACT
		SIZE AND MATERIAL OF EXISTING PIPING MAY BE SHOWN WHEN KNOWN.
		SIZE AND MATERIAL OF NEW PIPING MAY BE SHOWN ON PLAN OR IN PROFILE.

1. CONTACT THE ENGINEER FOR SYMBOLS NOT LISTED.
2. THIS IS A STANDARD SHEET, THEREFORE SOME SYMBOLS OR ABBREVIATIONS MAY APPEAR ON THIS SHEET WHICH DO NOT APPEAR ON THE PLANS.
3. SITE AND UTILITY SYMBOLS SHOWN ON THIS SHEET ARE NOT INTENDED TO REPRESENT THE PHYSICAL SCALE OR SHAPE OF ANY ITEMS. WHERE LARGE-SCALE PLANS ARE PRESENTED, THE SYMBOLS SHOWN HEREON MAY BE REPLACED BY DETAILS MORE SUITED TO THE DRAWING SCALE.

DRAFT - 30% DESIGN
NOT FOR CONSTRUCTION

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO CURRENT CALIFORNIA BUILDING CODE AND CALTRANS 2010 STANDARD SPECIFICATIONS AND PLANS, AND STANDARD DETAILS INCLUDED HEREIN.
- THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING, PROVIDED SUCH IS PERMITTED BY LOCAL PUBLIC AUTHORITIES WITH JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE A COPY OF THE TRENCH PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE EXCAVATION OF ANY TRENCH OVER FIVE FEET IN DEPTH.
- CONTRACTOR SHALL PERFORM TRENCH WORK IN CONFORMANCE WITH THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY REQUIREMENTS AND SHALL CONFORM TO ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH STANDARDS, RULES, REGULATIONS AND ORDERS ESTABLISHED BY THE STATE OF CALIFORNIA AND OTHER APPLICABLE AGENCIES.
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, GENERAL CONTRACTOR WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. ALL WORK AND EQUIPMENT SHALL COMPLY WITH THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY REQUIREMENTS. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY, AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ENGINEER AND HIS/HER CONSULTANTS.
- THE CONTRACTOR SHALL INDEPENDENTLY REVIEW EXISTING SITE IMPROVEMENTS, UTILITIES, SOILS CONDITIONS, TOPOGRAPHY, VEGETATION, AND CONDITIONS THROUGHOUT THE SITE, AND ASSUME THE RISK OF COMPLETING THE WORK SET OUT ON THESE PLANS, REGARDLESS OF ROCK, WATER TABLE, EXISTING IMPROVEMENTS, OTHER CONDITIONS WHICH MAY BE ENCOUNTERED IN THE COURSE OF THE WORK.
- ANY DISCREPANCY DISCOVERED BY THE CONTRACTOR IN THESE PLANS, OR ANY FIELD CONDITIONS DISCOVERED BY THE CONTRACTOR THAT MAY DELAY OR OBSTRUCT THE PROPER COMPLETION OF THE WORK SHOWN HEREIN SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ENGINEER IMMEDIATELY UPON DISCOVERY. SAID NOTIFICATION SHALL BE IN WRITING.
- ALL UNDERGROUND IMPROVEMENTS SHALL BE INSTALLED TESTED AND APPROVED PRIOR TO PAVING.
- THE CONTRACTOR SHALL NOT BEGIN EXCAVATING UNTIL ALL EXISTING UTILITIES HAVE BEEN MARKED IN THE FIELD. THE CONTRACTOR SHALL NOTIFY EACH APPLICABLE ENTITY AT LEAST 48 HOURS PRIOR TO COMMENCING WORK. CALL UNDERGROUND SERVICE ALERT (USA) TWO WORKING DAYS BEFORE DIGGING AT (800) 642-2444 FOR LOCATES.
- GRADING AND CONSTRUCTION CONTRACTORS SHALL STOP WORK AND NOTIFY THE OWNER AND THE ENGINEER IF CULTURAL RESOURCES ARE DISCOVERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL GIVE THE INSPECTOR 48 HOURS ADVANCE NOTICE OF ANY CONSTRUCTION OR REQUIRED TESTING.
- SHOULD THE CONTRACTOR OR ANY OF HIS AGENTS OR EMPLOYEES ENCOUNTER OR DISCOVER MATERIALS WHICH APPEAR TO BE HAZARDOUS DURING THE PERFORMANCE OF THE WORK, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY AND SUSPEND WORK IN THE AFFECTED AREA UNTIL THE ENGINEER HAS INSPECTED THE LOCATION AND MATERIALS IN QUESTION. SHOULD IT BE NECESSARY TO UNDERTAKE REMEDIATION, THE ENGINEER WILL GIVE WRITTEN NOTICE TO SUSPEND WORK IN THE AFFECTED AREA UNTIL THE PROPER COURSE OF ACTION HAS BEEN DETERMINED. OPERATIONS IN THE AFFECTED AREA SHALL BE RESUMED ONLY UPON WRITTEN NOTICE BY THE ENGINEER.
- ALL SITE GRADING WILL BE INSPECTED BY THE ENGINEER. COMPACTION TESTING WILL BE CONDUCTED AFTER SUFFICIENT DENSITIES HAVE BEEN ACHIEVED IN THE CONTRACTOR'S OPINION. THE CONTRACTOR SHALL MAKE ALL REQUESTS FOR MATERIALS TESTING AT LEAST 48 HOURS IN ADVANCE. ANY SOILS THAT FAIL TO MEET THE REQUIRED COMPACTION LEVELS SHALL BE REMOVED, AND RECOMPACTED. ALL COSTS ASSOCIATED WITH ACHIEVING COMPACTION STANDARDS SHALL BE INCLUDED IN THE CONTRACTOR'S ORIGINAL BID.
- NO CHANGES OR MODIFICATIONS SHALL BE MADE TO THESE PLANS WITHOUT WRITTEN APPROVAL BY THE ENGINEER. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO AND USES OF THESE PLANS UNLESS APPROVED IN WRITING BY THE PREPARER OF THESE PLANS OR THE CITY ENGINEER.
- THE LOCATIONS OF CITY OF LAKEPORT ELECTRICAL FACILITIES, AT&T, CABLE, AND PACIFIC GAS & ELECTRIC UTILITIES SHOWN ON THE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL POT-HOLE AND DETERMINE THE EXACT HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION AS PART OF THE COST OF THE PERFORMING WORK UNDER THIS CONTRACTOR, AND THE SHALL ADJUST THE DEPTH OF THE NEW UTILITIES TO CLEAR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE OFF-SITE DISPOSAL OF ALL BITUMINOUS PAVEMENT, CONCRETE, REINFORCEMENT, AND SPOILS NOT NEEDED FOR BACKFILL AS REQUIRED BY THE ENGINEER AND PER THESE SPECIFICATIONS.
- THE CONTRACTOR SHALL MAINTAIN REASONABLE ACCESS TO ALL DRIVEWAYS AND SIDEWALKS DURING CONSTRUCTION.
- ALL TRENCHES SHALL BE BACKFILLED AND PAVED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CITY STANDARD PLAN 222.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION, UNLESS OTHERWISE NOTED OF THE CALTRANS MANUAL OF TRAFFIC FOR CONSTRUCTION AND MAINTENANCE OF WORK ZONES. ALL SIGNS SHALL BE APPROPRIATELY CONSTRUCTED WITH REFLECTIVE MATERIAL ON A BACKING OF METAL OR FABRIC (NO WOOD OR PLASTIC ALLOWED) AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION TO PROVIDE PROPER VISIBILITY.
- ALL PAVEMENT MARKINGS DAMAGED DUE TO CONSTRUCTION SHALL BE REPLACED PER CALTRANS STANDARDS. PATCHING OF DAMAGED MARKINGS WILL NOT BE ALLOWED.
- NO CONSTRUCTION SHALL COMMENCE WITHOUT PRIOR APPROVAL OF THE CITY OF LAKEPORT PUBLIC WORKS. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL ITEMS NOT SPECIFIED FOR DEMOLITION PER PLANS.
- CONSTRUCTION MATERIALS AND EQUIPMENT SHALL BE NEW AND OF A QUALITY EQUAL TO THAT SPECIFIED OR APPROVED. WORK SHALL BE DONE AND COMPLETED IN A THOROUGH AND WORKMANLIKE MANNER.
- CONTRACTOR SHALL CONFINE HOURS OF CONSTRUCTION OPERATION TO 7 A.M. TO 7 P.M. MONDAY THRU FRIDAY, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- ALL MATERIALS DEMOLISHED & REMOVED FOR DISPOSAL SHALL BE DISPOSED OF AT A LEGALLY PERMISSIBLE LOCATION.
- ALL CONSTRUCTION TO OCCUR BETWEEN THE MONTHS OF JUNE 15 – OCTOBER 15

EROSION CONTROL NOTES:

- BMP'S SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE AND MAINTAINED SUCH THAT NO VISIBLE SEDIMENT LEAVES THE SITE.
- TRACKING CONTROLS: ENTRANCE/EXIT BMP.
- PAVED AREAS AT THE ACCESS POINTS SHALL BE SWEEPED OR VACUUMED AS OFTEN AS EACH DAY TO ELIMINATE TRACKING SOIL AND DEBRIS BEYOND THE LIMITS OF THE PROJECT SITE. ANY SOILS AND/OR DEBRIS, ROCK, GRAVEL, ETC. TRACKED BEYOND THE LIMITS OF THE PROJECT SITE AS A RESULT OF THIS PROJECT SHALL BE REMOVED IMMEDIATELY.
- DISTURBED AREAS PROTECTED TO EXTENT PRACTICAL DURING CONSTRUCTION.
- STOCKPILE MANAGEMENT TO BE IMPLEMENTED.
- DISTURBED AREA STABILIZED AS SOON AS POSSIBLE.
- THE CONTRACTOR SHALL NOT ALLOW ANY CONSTRUCTION DEBRIS TO ENTER THE STORM DRAIN OR SANITARY SEWER SYSTEMS. THE CONTRACTOR SHALL INSTALL APPROVED PHYSICAL BARRIERS TO ENSURE THAT ALL DEBRIS IS CAPTURED AND REMOVED FROM SURFACE RUNOFF PRIOR TO RELEASING SITE RUNOFF.
- SUBMIT SWPPP IN ACCORDANCE WITH SPECIAL PROVISIONS

SURVEY NOTES:

ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), DERIVED FROM NGS BENCHMARK NO. LV0466 AT CORNER OF 2ND ST. AND "A" ST.

BASIS OF BEARINGS
GRID NORTH CA STATE PLANE ZONE 1

SUBSURFACE CONDITIONS NOT SURVEYED.

FIELD SURVEY BY LACO ASSOCIATES ON DEC 2, 2020.
ONLY CONDITIONS EXISTING AT THAT TIME ARE REFLECTED ON THIS MAP.

THE CONTENT OF THIS MAP WAS DEFINED BY CONTRACT AT THE REQUEST OF CITY OF EUREKA. LACO ASSOCIATES ACCEPTS NO LIABILITY FOR USE OF THIS MAP BY ANYONE OTHER THAN THE AUTHORIZED REPRESENTATIVE THEREOF.

AN ELECTRONIC FILE OF THIS MAP HAS BEEN PREPARED AND, IF TRANSMITTED FOR USE BY OTHERS, WAS DONE SO AS A COURTESY AND IS SUPPLEMENTARY TO THE SIGNED AND SEALED ELECTRONIC PDF. DUE TO THE SUSCEPTIBILITY OF ELECTRONIC FILES TO CORRUPTION BY OTHERS, THE SIGNED AND SEALED ELECTRONIC PDF, DELIVERED TO THE CLIENT, CONSTITUTES THE ONLY ACTUAL WORK PRODUCT OFFICIALLY PRODUCED IN ACCORDANCE WITH THE EXECUTED PROFESSIONAL SERVICES AGREEMENT.

NO.	HISTORY / REVISION	BY	CHK.	DATE

FISHERMAN'S TERMINAL PILE REPLACEMENT
CITY OF EUREKA
4 C STREET, CA 95453

CIVIL GENERAL NOTES

DRAWN	CSC
CHECK	JC
APPROVED	RLW
DATE	TBD
JOB NUMBER	8247.18
DRAWING	C0.2

DRAFT - 30% DESIGN
NOT FOR CONSTRUCTION

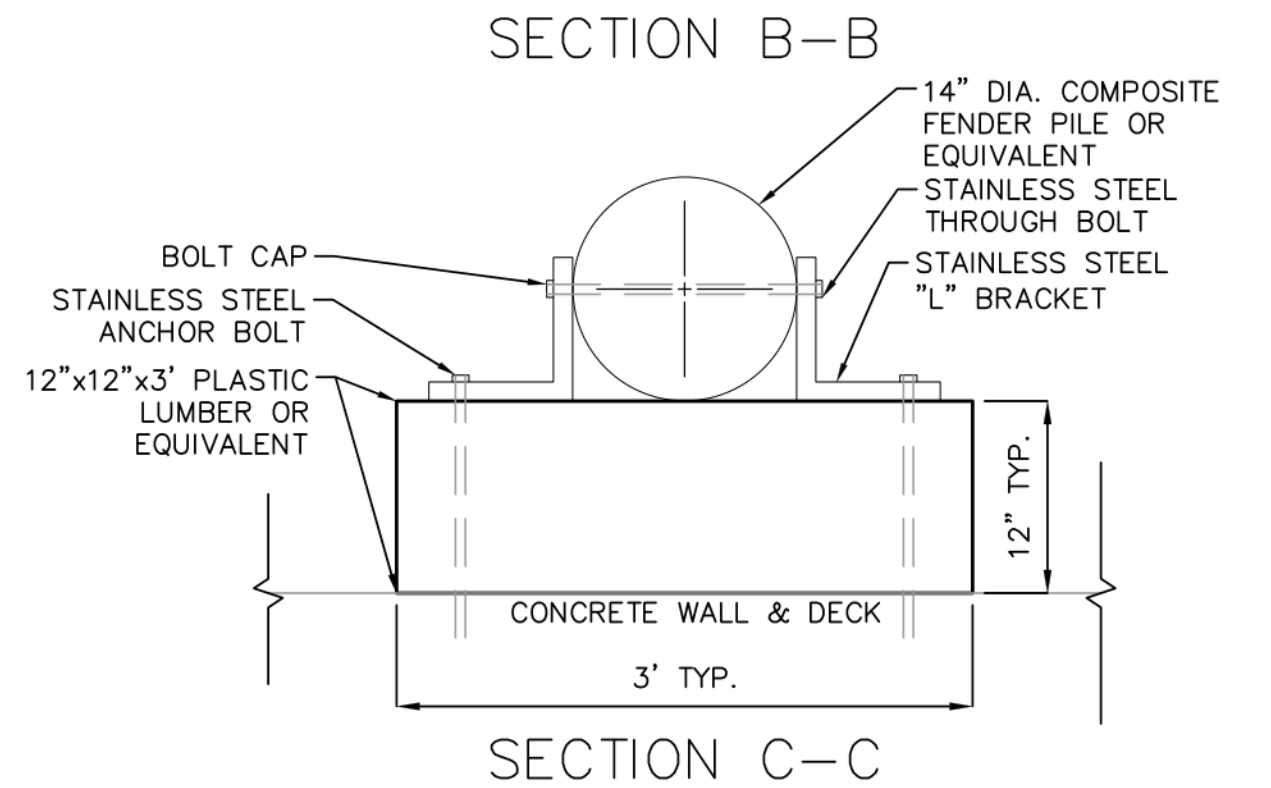
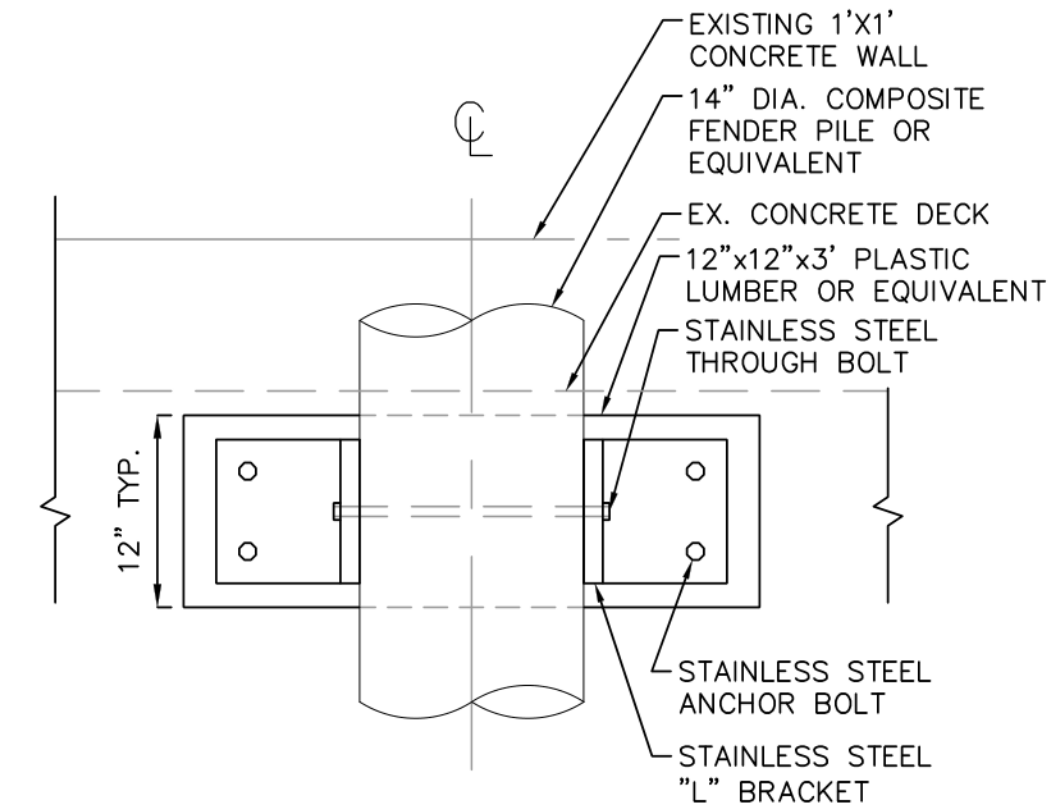
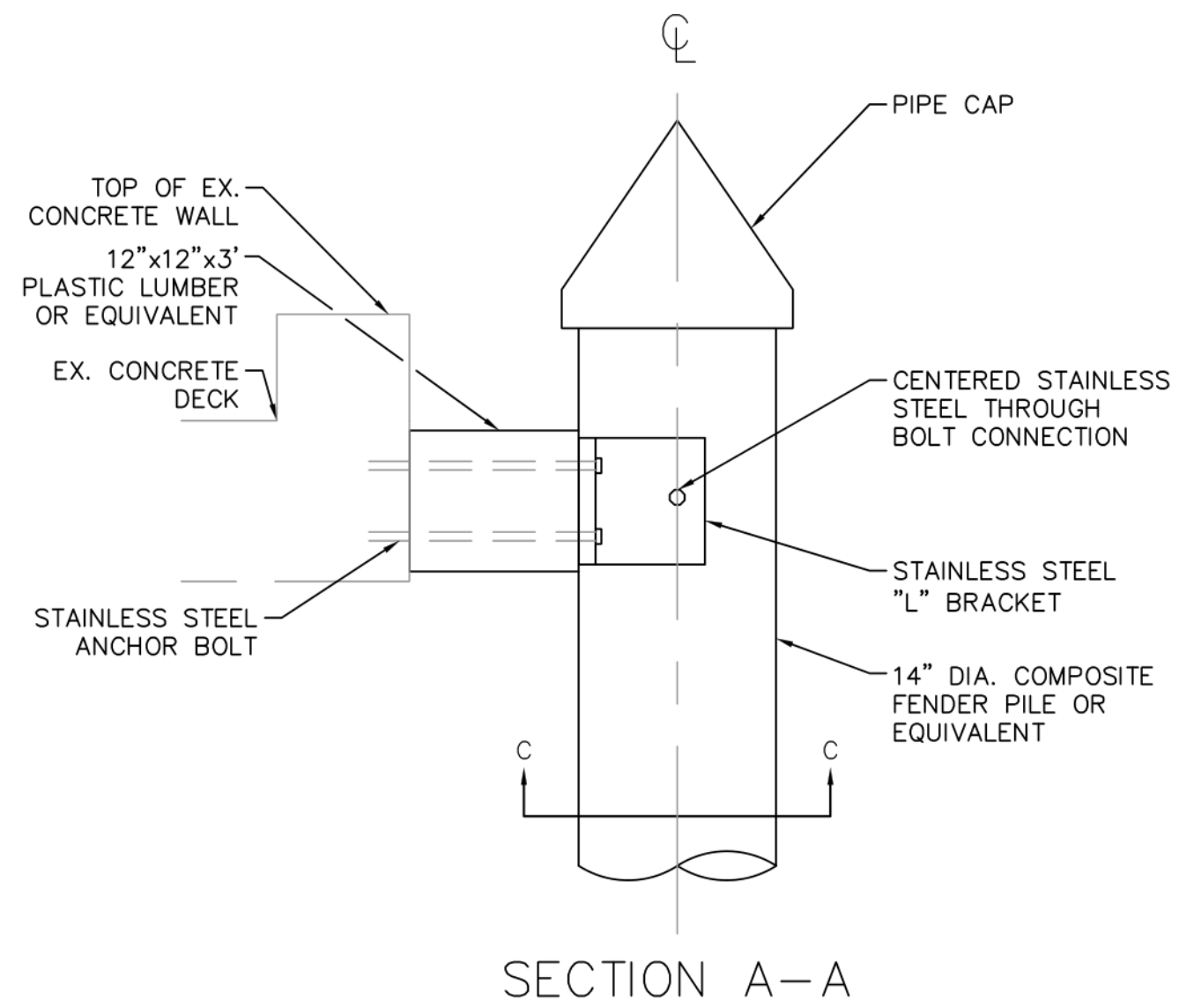
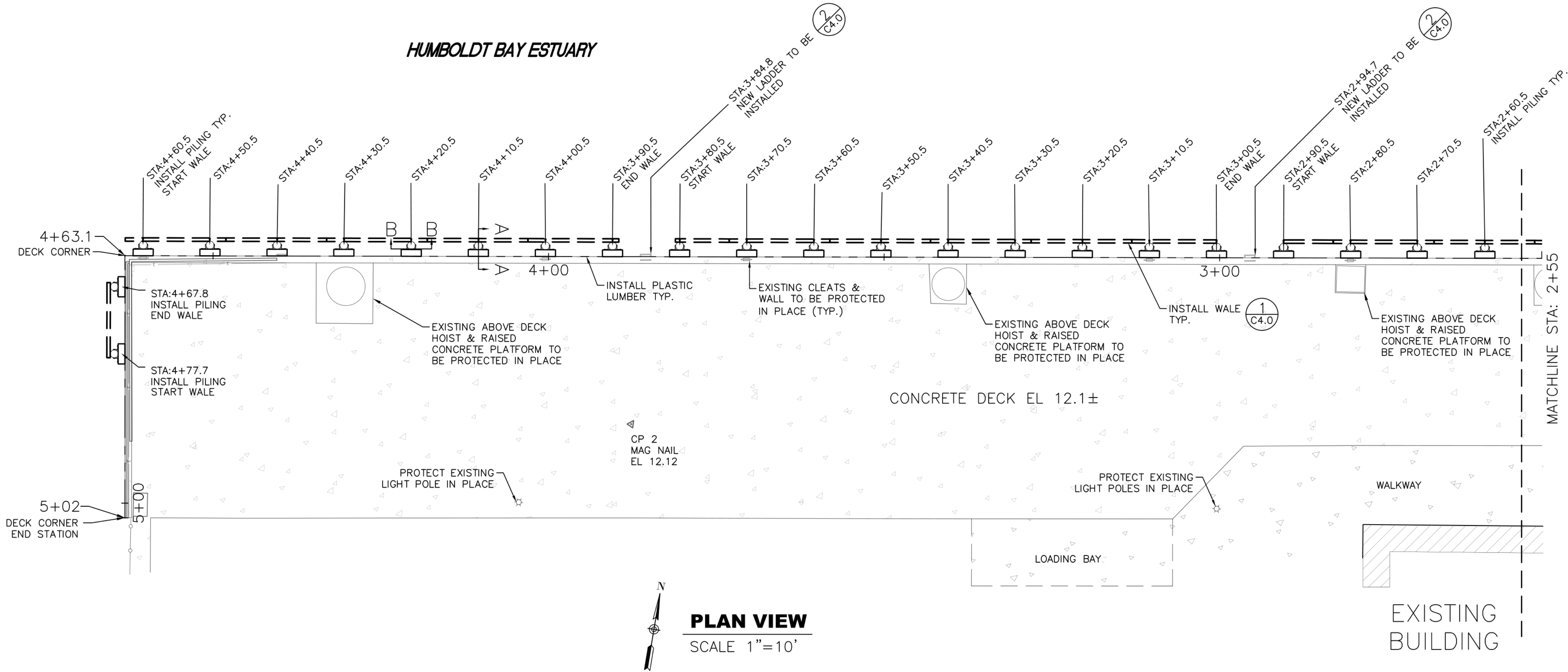


N.T.S.

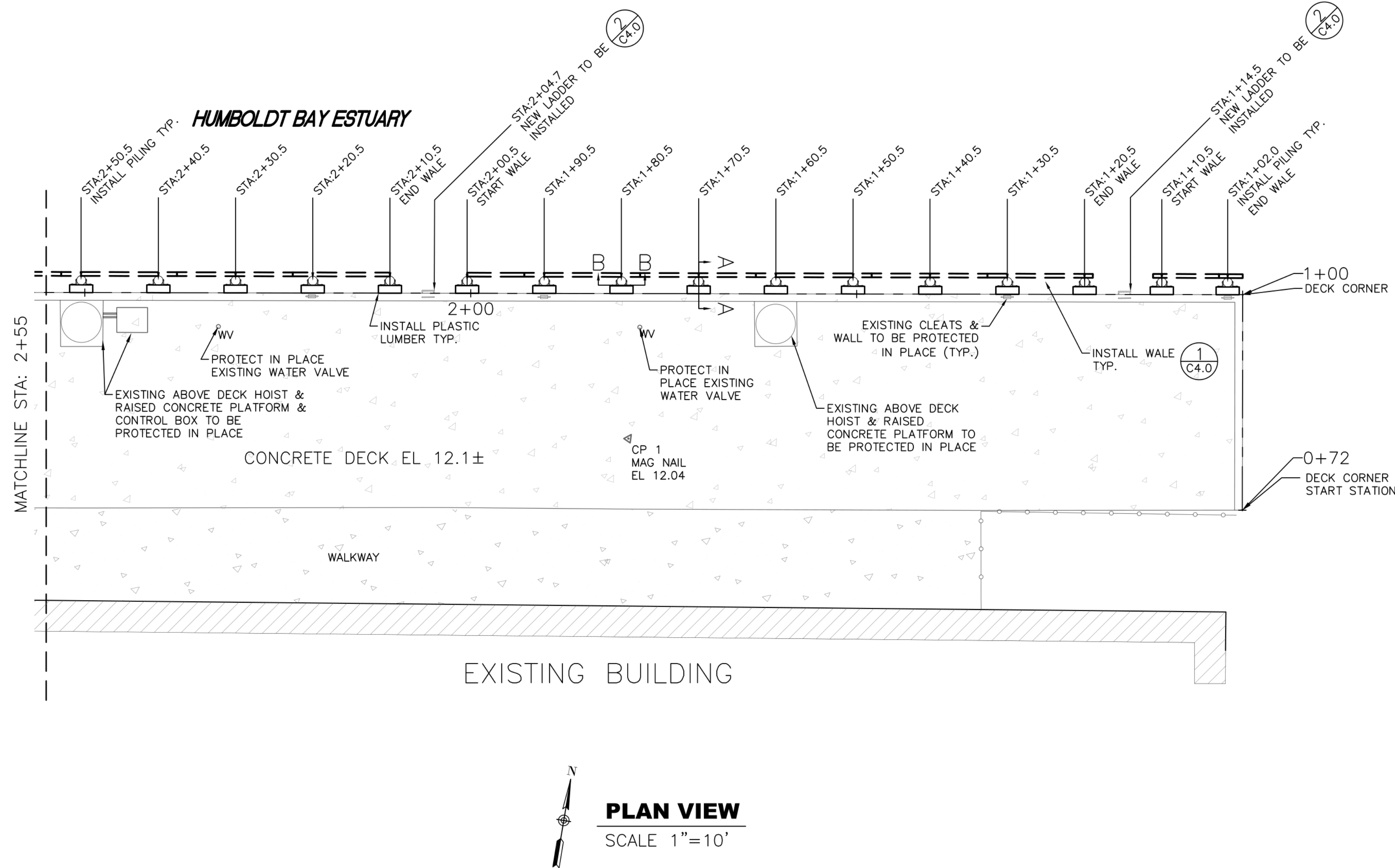


C1.0

HUMBOLDT BAY ESTUARY



FENDER PILING AND CONNECTION DETAILS
N.T.S.



DRAFT - 30% DESIGN
NOT FOR CONSTRUCTION

DATE	BY	CHK.	HISTORY / REVISION	NO.

FISHERMAN'S TERMINAL PILE REPLACEMENT
CITY OF EUREKA
4 C STREET, CA 95453

PILE CONSTRUCTION PLAN

DRAWN	CSC
CHECK	JC
APPROVED	RLW
DATE	TBD
JOB NUMBER	8247.18
DRAWING	C2.0



HUMBOLDT BAY ESTUARY

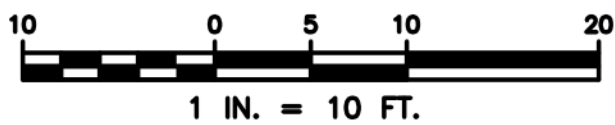
FISHERMAN'S
TERMINAL
BUILDING

LEGEND/ABBREVIATIONS

- 39 NEW 14" FENDER PILES TO REPLACE EXISTING PILES
 - AREA OF DISTURBANCE
 - PROJECT AREA
 - CONSTRUCTION STAGING AREA
- FISHERMAN'S TERMINAL IS A JOINT USE FACILITY. IT IS COMPRISED PARTLY OF A RESTAURANT & A FISH PROCESSING FACILITY.



PLAN VIEW
SCALE 1"=20'



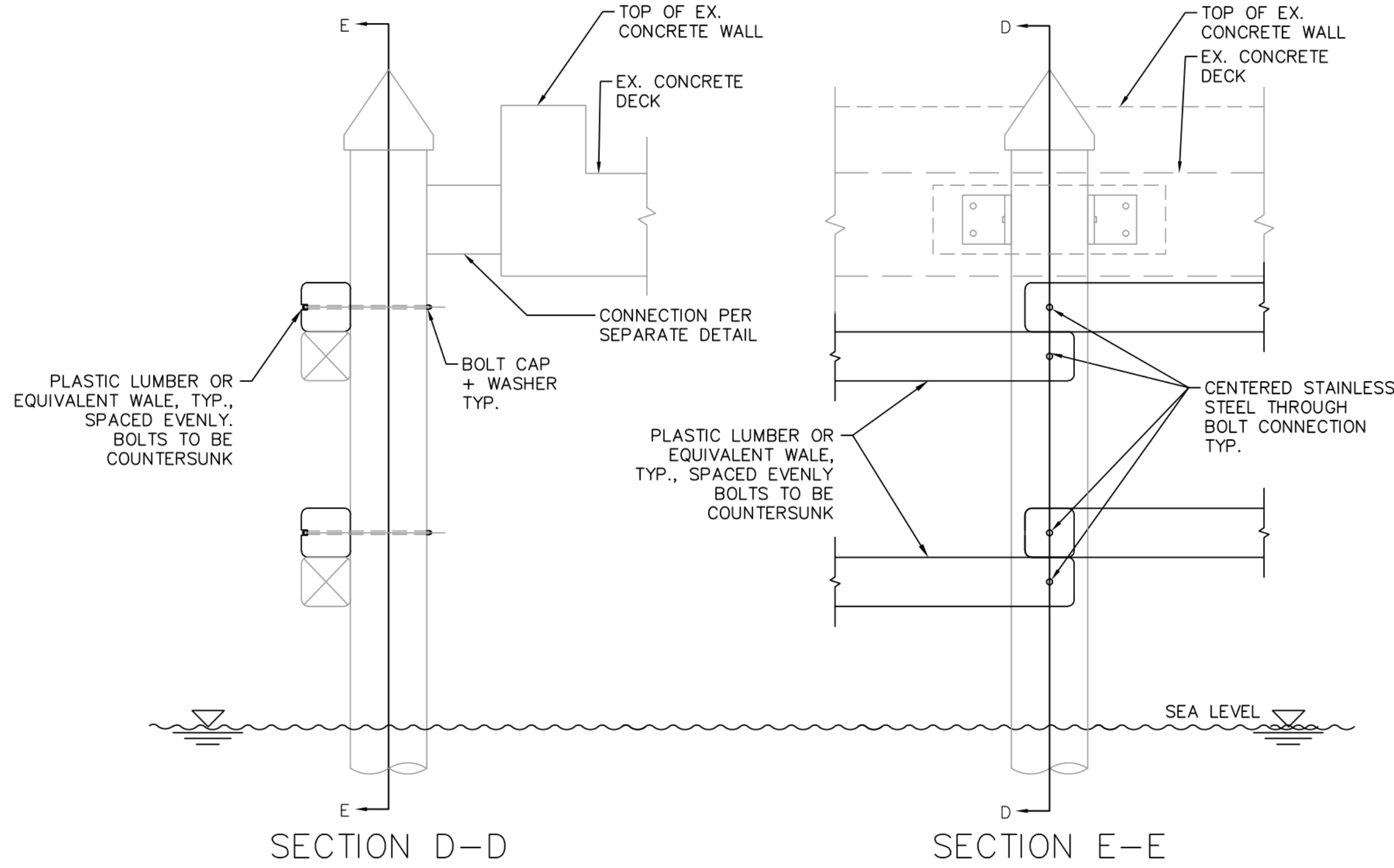
DRAFT - 30% DESIGN
NOT FOR CONSTRUCTION

LACO
EUREKA • UKIAH • SANTA ROSA • CHICO
1-800-515-5054 www.lacoassociates.com

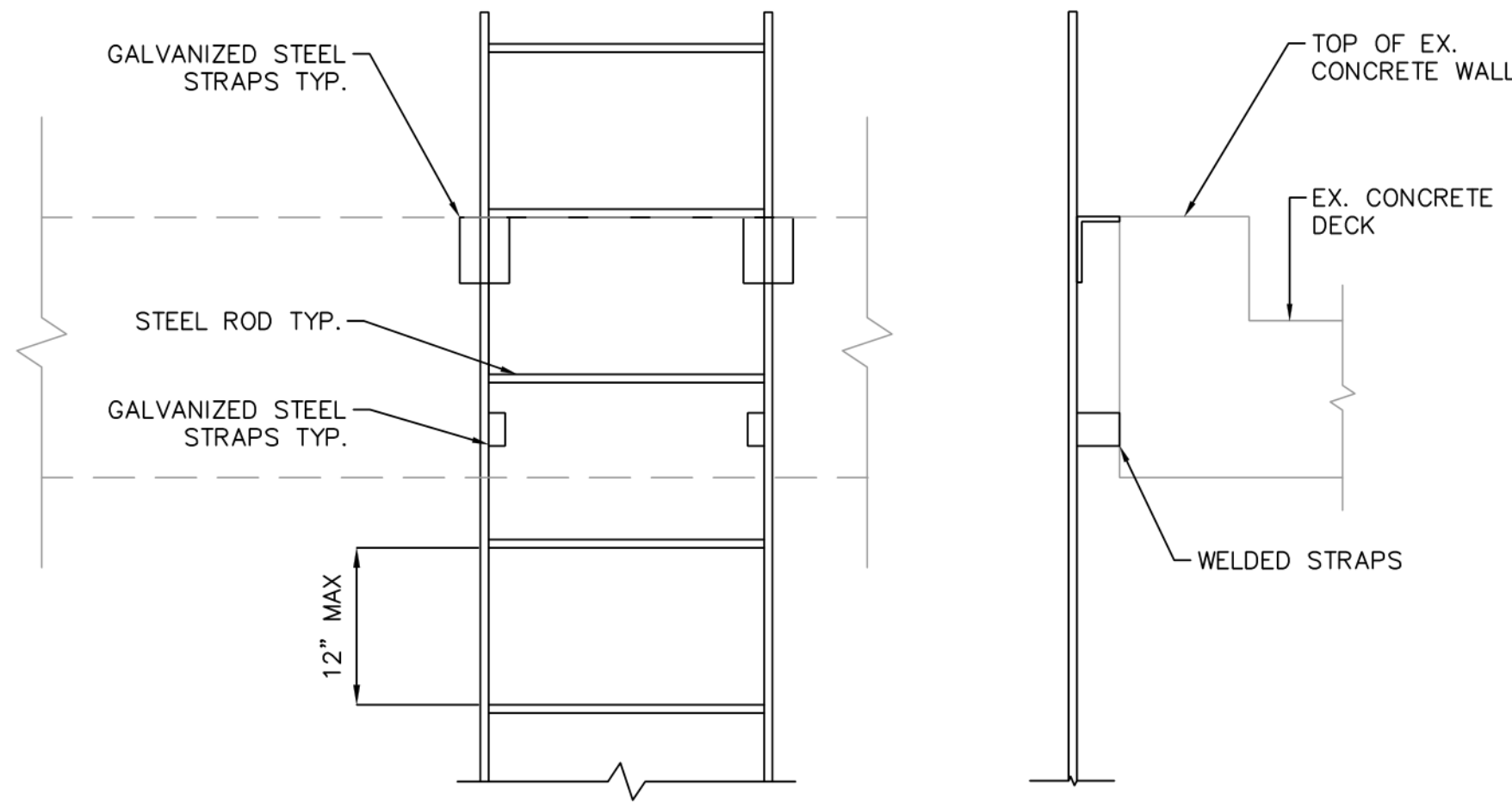
FISHERMAN'S TERMINAL PILE REPLACEMENT
CITY OF EUREKA
4 C STREET, CA 95453

CONSTRUCTION STAGING PLAN

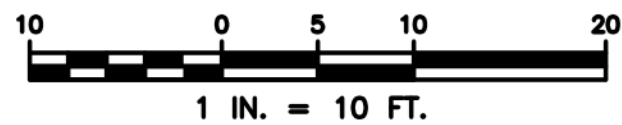
DRAWN	CSC
CHECK	JC
APPROVED	RLW
DATE	TBD
JOB NUMBER	8247.18
DRAWING	C3.0



1 **WALE SPACING DETAILS** N.T.S.



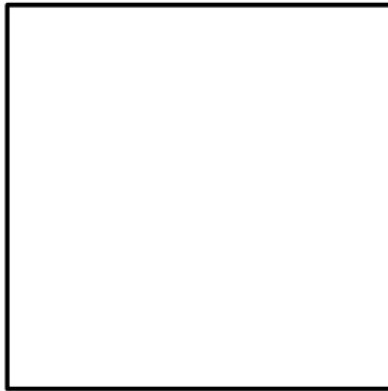
2 **WELDED STEEL LADDER** N.T.S.



**DRAFT - 30% DESIGN
NOT FOR CONSTRUCTION**

NO.	HISTORY / REVISION	BY	CHK.	DATE

FISHERMAN'S TERMINAL PILE REPLACEMENT CITY OF EUREKA 4 C STREET, CA 95453	CONSTRUCTION DETAILS
---	-----------------------------



DRAWN	CSC
CHECK	JC
APPROVED	RLW
DATE	TBD
JOB NUMBER	8247.18
DRAWING	C4.0

ATTACHMENTS FORM

Instructions: On this form, you will attach the various files that make up your grant application. Please consult with the appropriate Agency Guidelines for more information about each needed file. Please remember that any files you attach must be in the document format and named as specified in the Guidelines.

Important: Please attach your files in the proper sequence. See the appropriate Agency Guidelines for details.

1) Please attach Attachment 1	1234-8247.18 Attachment 1 PID	Add Attachment	Delete Attachment	View Attachment
2) Please attach Attachment 2	1235-Attachment 2 Attachments	Add Attachment	Delete Attachment	View Attachment
3) Please attach Attachment 3	1236-Attachment 3_ Match Comm	Add Attachment	Delete Attachment	View Attachment
4) Please attach Attachment 4	1237-Attachment 4_Conceptual	Add Attachment	Delete Attachment	View Attachment
5) Please attach Attachment 5	1238-Attachment 5_Permit Appl	Add Attachment	Delete Attachment	View Attachment
6) Please attach Attachment 6	1239-Attachment 6_SF424C_2_0	Add Attachment	Delete Attachment	View Attachment
7) Please attach Attachment 7	1240-Attachment 7_Terminal Pr	Add Attachment	Delete Attachment	View Attachment
8) Please attach Attachment 8	1241-Attachment 8_Project Sit	Add Attachment	Delete Attachment	View Attachment
9) Please attach Attachment 9	1242-Attachment 9_Preliminary	Add Attachment	Delete Attachment	View Attachment
10) Please attach Attachment 10		Add Attachment	Delete Attachment	View Attachment
11) Please attach Attachment 11		Add Attachment	Delete Attachment	View Attachment
12) Please attach Attachment 12		Add Attachment	Delete Attachment	View Attachment
13) Please attach Attachment 13		Add Attachment	Delete Attachment	View Attachment
14) Please attach Attachment 14		Add Attachment	Delete Attachment	View Attachment
15) Please attach Attachment 15		Add Attachment	Delete Attachment	View Attachment

Application for Federal Assistance SF-424

* 1. Type of Submission:

- ☐ Preapplication
☒ Application
☐ Changed/Corrected Application

* 2. Type of Application:

- ☒ New
☐ Continuation
☐ Revision

* If Revision, select appropriate letter(s):

* Other (Specify):

* 3. Date Received:

05/16/2022

4. Applicant Identifier:

5a. Federal Entity Identifier:

5b. Federal Award Identifier:

State Use Only:

6. Date Received by State:

7. State Application Identifier:

8. APPLICANT INFORMATION:

* a. Legal Name:

City of Eureka

* b. Employer/Taxpayer Identification Number (EIN/TIN):

(b)(4)

* c. UEI:

(b)(4)

d. Address:

* Street1:

531 K Street

Street2:

* City:

Eureka

County/Parish:

Humboldt

* State:

CA: California

Province:

* Country:

USA: UNITED STATES

* Zip / Postal Code:

95501-0340

e. Organizational Unit:

Department Name:

Division Name:

f. Name and contact information of person to be contacted on matters involving this application:

Prefix:

Mr.

* First Name:

Riley

Middle Name:

* Last Name:

Topolewski

Suffix:

Title:

Senior Planner

Organizational Affiliation:

City of Eureka

* Telephone Number:

7074414160

Fax Number:

* Email:

rtopolewski@ci.eureka.ca.gov

Application for Federal Assistance SF-424

* 9. Type of Applicant 1: Select Applicant Type:

C: City or Township Government

Type of Applicant 2: Select Applicant Type:

Type of Applicant 3: Select Applicant Type:

* Other (specify):

* 10. Name of Federal Agency:

Maritime Administration

11. Catalog of Federal Domestic Assistance Number:

20.823

CFDA Title:

Port Infrastructure Development Program

* 12. Funding Opportunity Number:

MA-PID-22-001

* Title:

2022 Port Infrastructure Development Program Grants

13. Competition Identification Number:

Title:

14. Areas Affected by Project (Cities, Counties, States, etc.):

Add Attachment

Delete Attachment

View Attachment

* 15. Descriptive Title of Applicant's Project:

Fisherman's Terminal Piling Replacement

Attach supporting documents as specified in agency instructions.

Add Attachments

Delete Attachments

View Attachments

Application for Federal Assistance SF-424**16. Congressional Districts Of:*** a. Applicant * b. Program/Project

Attach an additional list of Program/Project Congressional Districts if needed.

17. Proposed Project:* a. Start Date: * b. End Date: **18. Estimated Funding (\$):**

* a. Federal	<input type="text" value="650,000.00"/>
* b. Applicant	<input type="text" value="162,500.00"/>
* c. State	<input type="text" value="0.00"/>
* d. Local	<input type="text" value="0.00"/>
* e. Other	<input type="text" value="0.00"/>
* f. Program Income	<input type="text" value="0.00"/>
* g. TOTAL	<input type="text" value="812,500.00"/>

*** 19. Is Application Subject to Review By State Under Executive Order 12372 Process?**

- ☐ a. This application was made available to the State under the Executive Order 12372 Process for review on .
- ☐ b. Program is subject to E.O. 12372 but has not been selected by the State for review.
- ☒ c. Program is not covered by E.O. 12372.

*** 20. Is the Applicant Delinquent On Any Federal Debt? (If "Yes," provide explanation in attachment.)**☐ Yes ☒ No

If "Yes", provide explanation and attach

21. *By signing this application, I certify (1) to the statements contained in the list of certifications and (2) that the statements herein are true, complete and accurate to the best of my knowledge. I also provide the required assurances** and agree to comply with any resulting terms if I accept an award. I am aware that any false, fictitious, or fraudulent statements or claims may subject me to criminal, civil, or administrative penalties. (U.S. Code, Title 218, Section 1001)**

☒ ** I AGREE

** The list of certifications and assurances, or an internet site where you may obtain this list, is contained in the announcement or agency specific instructions.

Authorized Representative:

Prefix: * First Name:

Middle Name:

* Last Name:

Suffix:

* Title: * Telephone Number: Fax Number: * Email: * Signature of Authorized Representative: * Date Signed:

BUDGET INFORMATION - Construction Programs

NOTE: Certain Federal assistance programs require additional computations to arrive at the Federal share of project costs eligible for participation. If such is the case, you will be notified.

COST CLASSIFICATION	a. Total Cost	b. Costs Not Allowable for Participation	c. Total Allowable Costs (Columns a-b)
1. Administrative and legal expenses	\$ 10,000.00	\$	\$ 10,000.00
2. Land, structures, rights-of-way, appraisals, etc.	\$	\$	\$
3. Relocation expenses and payments	\$	\$	\$
4. Architectural and engineering fees	\$ 30,000.00	\$	\$ 30,000.00
5. Other architectural and engineering fees	\$ 20,000.00	\$	\$ 20,000.00
6. Project inspection fees	\$ 10,000.00	\$	\$ 10,000.00
7. Site work	\$	\$	\$
8. Demolition and removal	\$ 115,400.00	\$	\$ 115,400.00
9. Construction	\$ 627,100.00	\$	\$ 627,100.00
10. Equipment	\$	\$	\$
11. Miscellaneous	\$	\$	\$
12. SUBTOTAL (sum of lines 1-11)	\$ 812,500.00	\$	\$ 812,500.00
13. Contingencies	\$	\$	\$
14. SUBTOTAL	\$ 812,500.00	\$	\$ 812,500.00
15. Project (program) income	\$	\$	\$
16. TOTAL PROJECT COSTS (subtract #15 from #14)	\$ 812,500.00	\$	\$ 812,500.00
FEDERAL FUNDING			
17. Federal assistance requested, calculate as follows: (Consult Federal agency for Federal percentage share.) Enter the resulting Federal share.			\$ 650,000.00
Enter eligible costs from line 16c Multiply X 80 %			

DISCLOSURE OF LOBBYING ACTIVITIES

Complete this form to disclose lobbying activities pursuant to 31 U.S.C.1352

OMB Number: 4040-0013

Expiration Date: 02/28/2025

1. * Type of Federal Action: <input type="checkbox"/> a. contract <input checked="" type="checkbox"/> b. grant <input type="checkbox"/> c. cooperative agreement <input type="checkbox"/> d. loan <input type="checkbox"/> e. loan guarantee <input type="checkbox"/> f. loan insurance	2. * Status of Federal Action: <input checked="" type="checkbox"/> a. bid/offer/application <input type="checkbox"/> b. initial award <input type="checkbox"/> c. post-award	3. * Report Type: <input checked="" type="checkbox"/> a. initial filing <input type="checkbox"/> b. material change
4. Name and Address of Reporting Entity: <input checked="" type="checkbox"/> Prime <input type="checkbox"/> SubAwardee * Name <input type="text" value="City of Eureka"/> * Street 1 <input type="text" value="531 K Street"/> Street 2 <input type="text"/> * City <input type="text" value="Eureka"/> State <input type="text" value="CA: California"/> Zip <input type="text" value="95501-0340"/> Congressional District, if known: <input type="text" value="CA-02"/>		
5. If Reporting Entity in No.4 is Subawardee, Enter Name and Address of Prime: 		
6. * Federal Department/Agency: <input type="text" value="N/A"/>	7. * Federal Program Name/Description: <input type="text" value="Port Infrastructure Development Program"/> CFDA Number, if applicable: <input type="text" value="20.823"/>	
8. Federal Action Number, if known: <input type="text"/>	9. Award Amount, if known: \$ <input type="text"/>	
10. a. Name and Address of Lobbying Registrant: Prefix <input type="text"/> * First Name <input type="text" value="N/A"/> Middle Name <input type="text"/> * Last Name <input type="text" value="N/A"/> Suffix <input type="text"/> * Street 1 <input type="text" value="N/A"/> Street 2 <input type="text"/> * City <input type="text" value="N/A"/> State <input type="text"/> Zip <input type="text"/>		
b. Individual Performing Services (including address if different from No. 10a) Prefix <input type="text"/> * First Name <input type="text" value="N/A"/> Middle Name <input type="text"/> * Last Name <input type="text" value="N/A"/> Suffix <input type="text"/> * Street 1 <input type="text" value="N/A"/> Street 2 <input type="text"/> * City <input type="text" value="N/A"/> State <input type="text"/> Zip <input type="text"/>		
11. Information requested through this form is authorized by title 31 U.S.C. section 1352. This disclosure of lobbying activities is a material representation of fact upon which reliance was placed by the tier above when the transaction was made or entered into. This disclosure is required pursuant to 31 U.S.C. 1352. This information will be reported to the Congress semi-annually and will be available for public inspection. Any person who fails to file the required disclosure shall be subject to a civil penalty of not less than \$10,000 and not more than \$100,000 for each such failure. * Signature: <input type="text" value="Riley Topolewski"/> * Name: Prefix <input type="text"/> * First Name <input type="text" value="N/A"/> Middle Name <input type="text"/> * Last Name <input type="text" value="N/A"/> Suffix <input type="text"/> Title: <input type="text"/> Telephone No.: <input type="text"/> Date: <input type="text" value="05/16/2022"/>		
Federal Use Only:		Authorized for Local Reproduction Standard Form - LLL (Rev. 7-97)